

**CITY OF PINE LAKE
PUBLIC HEARING AGENDA
January 31,2023 6:30 PM
Council Chambers
459 Pine Drive, Pine Lake, GA**

Call to Order

Public Hearing

The purpose of the hearing is to solicit input on Variance Application request submitted by representative for 455 Oak Drive, Pine Lake, GA (Parcel 18 041 08 284) and to potentially render Council decision in the matter. Applicant is seeking variance from R-1 Residential District development regulations relative to maximum lot coverage provisions. Request for variance is the result of proposed development of the subject property.

Adjournment

NOTICE OF PUBLIC HEARING

Mayor and Council of the City of Pine Lake will hold a public hearing on **Tuesday, January 31, 2023 at 6:30pm at 459 Pine Drive, Pine Lake, GA 30072.** The purpose of the hearing is to solicit input on Variance Application request submitted by representative for **455 Oak Drive, Pine Lake, GA (Parcel 18 041 08 284)** and to potentially render decision in the matter. Applicant is seeking variance from R-1 Residential District development regulations relative to maximum lot coverage provisions. Request for variance is the result of proposed development of the subject property.

Interested parties are invited to attend and be heard.

Information pertaining to this request is available at Pine Lake City Hall, 425 Allgood Road, Stone Mountain, GA during regular business hours.

MEMORANDUM

TO: Mayor and Council
FROM: ChaQuias Miller Thornton, City Administrator
SUBJECT: **VARIANCE APPLICATION – 455 Oak Drive - To allow for increase in maximum lot coverage**
DATE: ~~Tuesday, December 20, 2022~~ (Thursday, January 19, 2023 – Revised)

Applicant	Kevin Polite
Location	455 Oak Drive (PIN 18-041-08-284)
Zoning	R-1, Single Family Residential District
Proposal	Variance to allow a higher lot coverage to allow construction of a single-family dwelling.
	Lot coverage proposed at 43.64% (42.46% with front porch credit), R-1 development regulation provides for a 35% maximum

APPLICATION SUMMARY

Mr. Kevin Polite has filed an application for a variance to increase the lot coverage ratio as established in Section 7-6 *Lot coverage* of the Zoning Ordinance. The variance would allow construction of a 2,016-square foot dwelling.

TIMELINE FOR PROGRESSION OF APPLICATION

11/29/2022 – Application received by Administration Office

12/20/2022 – Presentation of Planning Review – Administrative Report of Findings to Council

12/21 ~~28~~/2022 – Presentation of Public Hearing Notice to the Local News Organ for Publishing on ~~12/29/2022~~
01/05/2023

Appendix A – Zoning, ARTICLE 12. – variances, Section 12-2 provides that “Variances shall be heard and determined by Mayor and Council utilizing the same notice procedures provided for zoning amendments”. ARTICLE 13.-AMENDMENTS, Section 13-4.-Public Notices provides that “A public hearing shall be held prior to the mayor and council making a zoning decision. The City of Pine Lake shall publish in a newspaper of general circulation within the boundaries of Pine Lake a notice of the hearing...Such notice shall be published a minimum of 15 calendar days, but not more than 45 days, prior to the date of the hearing.

~~12/29/2022~~ – Posting of Public Hearing Notice on the subject property
01/05/2023

01/06/2023 – Applicant submitted updated plans and architectural letter for consideration of combining 455 Oak Drive HLP lot coverage combine with 447 Oak

01/18/2023 – Revised and supplemental Planning Review reports of findings submitted to Council

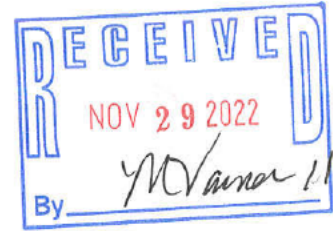
01/31/2023 – Public Hearing to Receive Public Comment on Application/Council Consideration – **6:30pm**

Attached, please see the findings report(s) as presented by Mr. Bill Johnston, Zoning Official. Please do present to me any questions, comments, concerns regarding the information contained within this or Mr. Johnston’s memorandum.

Thank you,

CMThornton

CITY OF PINE LAKE
P.O. Box 1325
Pine Lake, GA 30072 (404) 999-4931
VARIANCE APPLICATION



Applicant Information:

Name: Kevin Polite

Address: 1460 Deerwood Drive, Decatur, Ga 30030

Phone: [REDACTED] E-Mail: [REDACTED]

Variance #112922

Property Information:

Property Owner: Kevin Polite

Address: 455 Oak Drive, Pine Lake, Ga 30030

Phone: [REDACTED] E-Mail: [REDACTED]

Property Address of: 455 Oak Drive, Pine Lake, Ga 30030

Type of Variance: R-1 development regulation: Lot coverage 35 percent

Applications will only be accepted from the property owner, or authorized agent with written notarized consent of the property owner of record.

REQUIRED VARIANCE FINDINGS:

- There are extraordinary or exceptional conditions pertaining to the particular property because of its size, shape or topography.
- Such conditions are unusual or peculiar to the particular piece of property involved.
- The strict application of the zoning ordinance would create an unnecessary hardship.
- Relief, if granted, would not cause substantial detriment to the public good, safety or welfare, or impair the purpose and intent of the zoning ordinance of the City of Pine Lake.
- Any proposed variance shall be granted upon additional findings that the requirements of the tree ordinance and stormwater ordinances are met.

Submission Requirements:

Original and 10 copies of application packet consisting of the application; site plan with property lines and proposed change, detailed report justifying the requested variance (see required variance findings above); proof of ownership of the property and, if applicable, written notarized authorization by property owner; and required fee.

I hereby certify that I am the owner of the property upon which a variance is being requested and that all information provided as a part of this application is true and correct.

Signature of Owner/Agent: *Kevin Polite* Date: 11/28/2022

This application, along with the required fee and all necessary supplemental documents, has been properly submitted and is accepted for consideration by the City Council at a public hearing in the City Council Chambers on the _____ day of _____, 20____, beginning at 7:00 pm.

Signature _____ Date of Acceptance: _____

CITY OF PINE LAKE VARIANCE APPLICATION FOR:

Kevin Polite
455 Oak Drive, Pine Lake, GA
Parcel 18 041 08 284

I, Kevin Polite, owner of 455 Oak Drive, Pine Lake, GA, Parcel 18 041 08 284 is requesting a variance from R-1 Residential District development regulations relative to the maximum lot coverage of 35 percent. We would like to use 44.5 percent because of the extraordinary and exceptional conditions of the size of this property being a 79' x 99' lot. Such condition is unusual in that most lots in Pine Lake are 99' x 99' or larger. Homes have been built on smaller nearby lots such as 454 Spring Drive, (Parcel 18 041 08 032) and the recently approved ^{454 SP} ~~439~~ Oak Drive ^{KA} (Parcel 18 041 08 025). The strict application of the zoning ordinance would create an unnecessary hardship because we would need to build a two-story home on a corner lot in an area along Oak Drive where all of the other homes are one-story. A two-story home would be harmful in that it would harm the aesthetic of Oak Drive and Pine Lake, as a single-story home would be more appropriate for the City of Pine Lake and this street. The home to be built would be a purpose-built, one-story bungalow based on New Urbanism design. A single-story home is more appropriate to the height and character of the original homes built in Pine Lake when it was established in 1937 and is context-appropriate architecture for Oak Drive. Single-story, new construction homes are rare and well-sought after because they fit the lifestyles of families of all ages with or without children to empty nesters who wish to have no stairs in the home. In addition, this will allow the owner to build a wrap around porch which is an awesome opportunity to engage with our neighbors with this being a corner lot, and with the lot being smaller and not having an option of having a back deck or patio.

Relief, if granted, would not cause any detriment to the public good, safety or welfare, or impair the purpose and intent of the zoning ordinance of the City of Pine Lake. The requirements of the tree ordinance and stormwater ordinances would still be met.

If approved, the home will not have any impact on the surrounding properties and would not infringe on any setback requirements, Stream Buffer Protections regulations or encroachment into an undisturbed natural vegetative buffer, as did the Variance Request that was approved for ⁴³⁹439 Oak Drive, Pine Lake, GA (Parcel 18 041 08 009) on September 27, 2022, by the City Council and Mayor Melanie Hammet.

To add more context to the street, the lot coverage for the adjacent lot, 447 Oak Drive, Pine Lake, Ga (Parcel 18 041 08 024) will have a lot coverage of 27.75 percent, which is less than the 35 percent requirement. The owner of 439 Oak Drive, Pine Lake, GA is HausZwei, LLC of which I am one of two partners.

We have included the following exhibits:

- Proof of ownership
- Site and Tree plan
- Architectural plans

Record and Return to:
Ericsson Law PC
1610 Hosea Williams Drive, Suite J
Atlanta, GA 30317
File No.: 2022051se

TAX ID: 18 041 08 284

2022077099 DEED BOOK

Real Estate Transfer Tax \$36.00

30337 Pg 42

Filed and Recorded:
5/16/2022 2:51:32 PM
Debra DeBerry
Clerk of Superior Court
DeKalb County, Georgia

LIMITED WARRANTY DEED

STATE OF GEORGIA
COUNTY OF DEKALB

THIS INDENTURE, Made the 13th Day of April, 2022 between

Capstone Capital, LLC, a Georgia Limited Liability Company

State of Georgia, as party or parties of the first part, hereinafter called Grantor, and

Kevin Polite

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor for and in consideration of the sum of TEN AND 00/100 (\$10.00) DOLLARS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

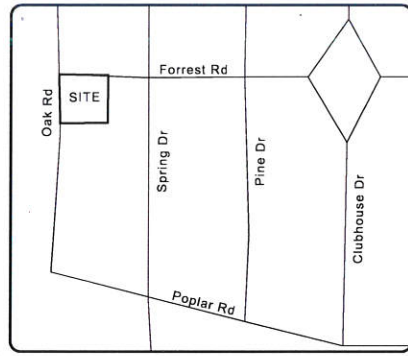
All that tractor parcel of land lying and being in Land Lot 41 of the 18th District of DeKalb County, Georgia, being Lots 94, 95, 96, and 97, as shown on Map 1 of Pine Lake, DeKalb County, Georgia, as per plat recorded in Plat Book 10, Page 122, DeKalb County, Georgia Records.

SUBJECT to restrictive covenants and general utility easements of record.

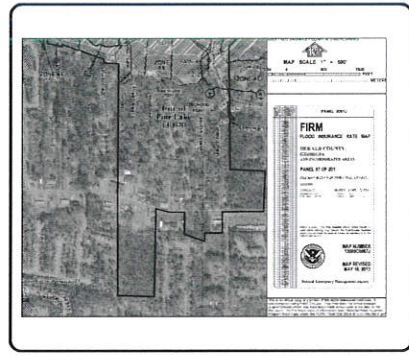
TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims and demands of all persons claiming by, through or under the above named Grantor, but against none other.

DE



Location Map
N.T.S.



FEMA Map
N.T.S.

Site Notes:

1. THE SITE CONTAINS: 0.182 ACRES
2. SITE ADDRESS: 455 OAK DRIVE, PINE LAKE GA 30072
PARCEL ID NUMBER: 18 041 08 284
3. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY McCLUNG SURVEYING SERVICES, INC., DATED 12-15-17.
4. THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBERS 13089C0087.4, DATED MAY 16, 2013.
5. THERE ARE NO WATERS OF THE STATE OF GEORGIA OR WETLANDS WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATER BUFFERS.
6. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
7. THE INTENDED USE OF THE PROPERTY WILL BE FOR THE ADDITION OF A NEW SINGLE FAMILY HOME.

Zoning Requirements:

ZONING: R-1
 MINIMUM LOT AREA: 6,000 SQUARE FEET
 MINIMUM LOT DEPTH: 100 FEET
 MINIMUM LOT WIDTH: 60 FEET
 MAXIMUM FLOOR AREA: 2,800 SQUARE FEET
 MAXIMUM LOT COVERAGE: 35%
 MINIMUM LOT WIDTH AT FRONT SETBACK LINE: 75 FEET
 MINIMUM FRONT YARD SETBACK: 20 FEET
 SIDE SETBACK: 8 FEET FOR ONE STORY CONSTRUCTION;
 15 FEET FOR TWO STORY CONSTRUCTION
 REAR SETBACK: 12 FEET FOR ONE STORY CONSTRUCTION;
 10 FEET FOR TWO STORY CONSTRUCTION
 MAX HEIGHT: 32 FEET

Proposed Impervious Area:

Proposed Impervious Area	SF
Proposed Driveway	663
Proposed Walkway and Front Stairs	131
Proposed Covered Porch	656
Proposed House	2016
Proposed Impervious Area - TOTAL	3466
Lot Coverage	43.64%

TOTAL SITE ACRES = 0.182 ACRES
 TOTAL DISTURBED AREA = 0.13 ACRES

Construction Narrative:

THE PROPOSED PLAN CALLS FOR THE CONSTRUCTION OF A NEW HOME. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

Pine Lake Site Plan Checklist:

- PROPERTY SURVEY & SITE PLAN BY CERTIFIED SURVEYOR OR ENGINEER, INCLUDE A NORTH ARROW AND INDICATE SCALE AT EITHER 1/8" = 1' FOOT, OR 1/4" = 1' FEET ON ALL PAGES.
 NORTH ARROW AND SCALE SHOWN ON SHEET C-1 AND C-2.
1. ADJACENT STREET RIGHT-OF-WAY AND STREET NAMES.
 2. WHETHER PROPERTY IS OR IS NOT WITHIN THE FLOOD PLAIN.
 3. DISTANCE IN FEET TO ANY STREAM.
 4. LOT LINES AND DIMENSIONS.
 5. REQUIRED BUILDING SETBACK LINES AND DIMENSIONS (AS REQUIRED BY CODE).
 6. EXISTING DRIVEWAYS AND OTHER ACCESS.
 7. NO EXISTING DRIVEWAYS TO THE LOT, PROPOSED DRIVEWAY FOR ACCESS SHOWN ON SHEET C-1.
 8. EXISTING LOCATION OF NEIGHBORING STRUCTURES WITHIN 20 FEET OF THE LOT LINE.
 9. EXISTING TREES AND TYPE WITH A CALIPER OF 8 INCHES OR GREATER AT 4 1/2 FEET ABOVE GRADE.
 10. PROPOSED BUILDINGS, PORCHES, SHEDS, GARAGES, DECKS, FENCES, WALKS, POOLS, DRIVES, ETC.
 11. PROPOSED NEW TREES TO BE PLANTED, LOCATION, SIZE AND TYPE.
 12. PROPOSED STORMWATER RUN-OFF, INCLUDE CALCULATIONS AND INDICATE DETENTION LOCATIONS.
 13. PROPOSED TOTAL LOT COVERAGE, CALCULATE AS A PERCENTAGE OF THE ENTIRE LOT.
 14. TOPOGRAPHIC SURVEY OF EXISTING CONDITIONS, WITH OVERLAY OF PROPOSED GRADE CHANGES.
 15. CONSTRUCTION OF NEW BUILDINGS AND ADDITIONS, AND ANY CHANGE OF GRAD, REQUIRE A TOPOGRAPHIC SURVEY, WITH 1" = 10' OR 2" = 20' FOOT INTERVAL ELEVATION ABOVE MEAN SEA LEVEL, AND FINISHED FLOOR ELEVATIONS. SEE TOPOGRAPHY ON SHEET C-1 IN DRAWING.

Grading Notes:

1. EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
2. INITIAL BMPs MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. SEDIMENT BMPs MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
3. AFTER SITE CLEARING AND PREPARATION, CONTRACTOR SHALL EVALUATE THE EXPOSED SUBGRADE. THIS EVALUATION SHOULD INCLUDE PROOF ROLLING OF SUBGRADE SOILS TO VERIFY THAT THE SUBGRADE IS OF SUFFICIENT COMPACTION AND MATERIAL FOR PLACEMENT OF FILL TO BEGIN. IF REMEDIAL WORK IS REQUIRED, CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER BEFORE PROCEEDING.
4. ALL FILL MUST BE TESTED FOR COMPACTION AND QUALITY DURING THE GRADING OPERATION. PLACE FILL MATERIALS ON CONTIGUOUS WATERS AND COMPACT IN ACCORDANCE WITH ASTM D698. FILL MATERIAL MUST BE CLEAN INORGANIC NATURAL SOIL.
 COMPACTION REQUIREMENTS USING STD PROCTOR COMPACTION TEST ASTM D698 (% MAX DENSITY AT OPTIMUM MOISTURE CONTENT)
 UNPAVED AREAS: TOP 6 INCHES OF SUBGRADE AND SUBSEQUENT LIFTS / 90% SPT
 PAVED AREAS:
 FILL WALLS:
 COMPACTION ZONE FOR THESE AREAS SHALL INCLUDE A BEARING PLANE OF 1:1 FOR FILL AREAS WHICH SHALL EXTEND TO APPROVED SUBGRADE. COMPACTION REQUIREMENTS UNDER CURBING IS CONSIDERED UNDER PAVED AREAS REQUIREMENTS.
5. DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
6. MAXIMUM GRADED SLOPES ALLOWED 2H:1V
7. ALL SLOPES AND AREAS TO BE LANDSCAPED OR GRASSED SHALL BE GRADED SMOOTH AND TOPSOIL APPLIED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. NOTE USE OF TOPSOIL DOES NOT CHANGE FINISH GRADE CONTOURS.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
9. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
10. CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EARTHWORK AND GRADING OPERATIONS FROM GRADING, SEDIMENTATION, OR DAMAGE DURING CONSTRUCTION. REPAIR OR REPLACEMENT OF EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER. REMOVING AND CLEANING UP SEDIMENT ACCUMULATIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL PROVIDE ALL EXCAVATING, FILLING, BACKFILLING, IMPORTING, EXPORTING, AND GRADING REQUIRED TO BRING ENTIRE PROJECT TO THE FINAL GRADES AND ELEVATIONS SHOWN IN THE DESIGN DOCUMENTS.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
14. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES SHOWN TO BE PRESERVED (IF REQUIRED).
15. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA.
16. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
17. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
18. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
19. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES & ITEMS TO REMAIN.
20. CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
22. CONTRACTOR SHALL REPAIR AT HIS/HER EXPENSE, DAMAGE TO ANY NEW OR EXISTING SITE OR NEIGHBOR FEATURES NOT TO BE DEMOLISHED CAUSED BY CONSTRUCTION ACTIVITIES.
23. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COSTS TO THE OWNER.
24. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

Water Quality Description:

TOTAL IMPERVIOUS AREA FOR THE SITE IS 3466 SQUARE FEET. REQUIRED WATER QUALITY VOLUME PER GSWMM SHOWN. THE WATER QUALITY IS PROVIDED ONLY FOR THE NEW IMPERVIOUS AREA OF 2672 SQUARE FEET FOR PROPOSED HOUSE AND THE FRONT PORCH AREA. SEE LOT COVERAGE ON THIS SHEET.

THERE WILL BE ONE STONE STORAGE TRENCH. THE TRENCH WILL BE LOCATED IN FRONT OF THE HOUSE TOWARDS THE WESTERN SIDE OF THE PROPERTY. THE STONE STORAGE TRENCH WILL BE FILLED WITH 40% VOID RATIO. THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCHES IS 682.4 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCHES IS 700.0 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT THEY ARE AT LEAST 10 FEET AWAY FROM THE STRUCTURES. THE BOTTOM OF THE STORAGE TRENCH IS 7 FEET DEEP.

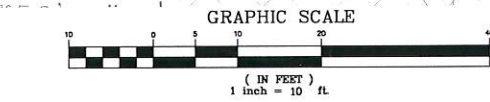
THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE RUNOFF REDUCTION STORAGE REQUIREMENTS. THE STONE STORAGE TRENCH WILL PROMOTE GROUNDWATER RECHARGE WHILE RESPECTING THE REQUIRED CRITICAL ROOT ZONE OF SAVE TREES BECAUSE OF THE AVAILABLE SPACE, LARGER SURFACE AREA TRENCHES WERE DESIGNED TO KEEP THE STORAGE FACILITY AS SHALLOW AS POSSIBLE AND PROMOTE MORE DIRECT INFILTRATION.

ANY OVERFLOW DRAINAGE FROM THE SYSTEM WILL FLOW TO THE WESTERN SIDE OF THE PROPERTY.

Water Quality Calculations:

RUNOFF REDUCTION IMPERVIOUS AREA CALCULATIONS			
Site Location	Footage	Not/Treated	BMP Location
Proposed Driveway	663	EXEMPT	
Proposed Walkway and Front Stairs	131	EXEMPT	
Proposed Covered Porch	656	TREATED	FRONT
Proposed House	2016	TREATED	FRONT
Total Impervious Area	3466	SF	
Treated Impervious Area	2672	SF	

Stone Storage Infiltration Trench Calculations	
Required Water Quality Volume =	272.9 CF
All WQ Volume to be provided in Infiltration Trench	
Infiltration Trench w/ 40% void Ratio	
Required WQ Volume / 0.40 =	682.4 CF
Infiltration Trench Calculations	
Length =	10.0 FT
Width =	10.0 FT
Height =	7.0 FT
Required Volume =	682.4 CF
Provided Volume =	700.0 CF
Provided Volume is Greater than Required Volume	



Water Quality Calculations Per GSWMM			
Water Quality Volume	Drainage Basin = 0.13 Acres	1,250 sf of Treated	
	Impervious Area = 0.06 Acres	Impervious	
	I = % impervious = 48 %		
$R_v = 0.05 + 1 * (0.009)$	$R_v =$	0.482	
$WQ_v = 1.2 * R_v * (DA * 43560) / 12$	$WQ_v =$	273 cu. ft.	



Prepared By:
 CRESCENT VIEW
 ENGINEERING, LLC.
 2115 W. OAK DR.
 MARIETTA, GA 30066
 678-304-8410
 www.crescentvieweng.com

Prepared For
 Haus Zwei Homes
 447 Oak Drive
 Pine Lake, GA 30072

Proposed Conditions Plan

DATE	REVISIONS
11-23-22	
DATE	BY
11-23-22	AD/STW
11-23-22	PK
CHECKED	GHB



Site Plan For
 455 Oak Drive
 Land Lot 41, 18th District
 City of Pine Lake, Georgia

CVE PI# 22-253

Sheet No.
C-1

ES&PC Notes:

1. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
 2. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL, IN GEORGIA.
 4. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SEDIMENT PONDS ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
 5. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETIRED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
 6. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
 7. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN 14 DAYS.
 8. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
 9. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS.
 10. PERSON RESPONSIBLE FOR EROSION CONTROL MEASURES IS: 24 HOUR EMERGENCY CONTACT: KEVIN POLITE 404-299-7100
 11. CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
 12. SEDIMENTATION & EROSION CONTROL MEASURES TO BE INSPECTED DAILY.
- SILT FENCE PROVIDED = 242 LINEAR FEET
 SEDIMENT STORAGE REQUIRED = 5.94 CU YD
 SEDIMENT STORAGE PROVIDED = 12.10 CU YD

TOTAL SITE ACRES = 0.182 ACRES
 TOTAL DISTURBED AREA = 0.089 ACRES

Construction Narrative:

THE PROPOSED PLAN CALLS FOR THE CONSTRUCTION OF A NEW HOME. ALL PHASED EROSION CONTROL BMP'S ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR FOR EFFECTIVE EROSION IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

24 HOUR EMERGENCY CONTACT: KEVIN POLITE 404-299-7100



General Landscape Notes

1. TREE PROTECTION SHALL CONSIST OF CHAIN LINK, OR ORANGE LAMINATED PLASTIC, IN ADDITION TO FENCE, WHERE TREE TRUNKS ARE IN JEOPARDY OF BEING DAMAGED BY EQUIPMENT, 2X4 - INCH BOARDS MAY BE REQUESTED TO BE STRAPPED AROUND THE TRUNKS OF THE TREES.
2. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING.
3. TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF ATLANTA STANDARDS. ANY FIELD ADJUSTMENT TO THE LOCATIONS OF TREE PROTECTION DEVICES OR SUBSTITUTIONS OF PAINT MATERIAL FROM WHAT IS SHOWN ON THE APPROVAL PLANS ARE SUBJECT TO REVIEW AND APPROVAL OF THE CITY OF ATLANTA.

Tree Inventory:

NOTE - THE TREE INVENTORY IS PER DEFINITIONS PROVIDED BY CITY OF PINE LAKE TREE ORDINANCE

TREE NO.	DBH (IN INCHES)	TYPE	REMOVE	ONSITE	BUFFER TREE	BOUNDARY TREE	RIGHT OF WAY TREE	LANDMARK TREE	PROTECTED TREE	CRZ	CANOPY
1	40	WHITE OAK		Y						7853.98	1000
2	12	OAK		Y						706.86	1000
3	12	TUPELO	Y	Y						706.86	500
4	18	WATER OAK	Y	Y		Y				1590.43	1000
5	8	UNKNOWN	Y	Y						314.16	DEAD
6	13	PECAN	Y	Y						829.58	1000
7	23	PECAN		Y		Y				2506.72	1000
8	11	POPLAR		Y						563.96	500
9	20	POPLAR	Y	Y				Y		1963.50	500
10	19	POPLAR	Y	Y				Y		1772.05	500
11	25	PINE	Y	Y		Y				3067.96	1000
12	13	UNKNOWN		Y						829.58	REMOVED
13	14	POPLAR		Y						962.11	500

DEFINITIONS OF THE CATEGORIES ABOVE, PROVIDED BY CITY OF PINE LAKE
 "BOUNDARY TREE" - A TREE 10 INCHES (DBH) OR LARGER LOCATED ON A PROPERTY ADJACENT TO PERMITTING PROPERTY, WHOSE CRITICAL ROOT ZONE OR CANOPY EXTENDS INTO THAT PERMITTING PROPERTY.
 "BUFFER TREE" - A TREE 18 INCHES (DBH) OR LARGER LOCATED IN THE MINIMUM REQUIRED YARDS/SETBACKS OF ANY PROPERTY
 "LANDMARK TREE" -
 (1)-HARDWOOD TREE 27 INCHES (DBH) OR LARGER;
 (2)-PINE TREE 30 INCHES (DBH) OR LARGER, PROVIDED THAT SAID PINE TREE IS NOT LOCATED WITHIN 30 FEET OF ANY STRUCTURE;
 OR
 (3)-DOGWOOD OR REDBUD TREE TEN INCHES (DBH) OR LARGER BEING IN FAIR OR BETTER CONDITION.
 "PROTECTED TREE" - A TREE 18 INCHES (DBH) OR LARGER, OTHER THAN A LANDMARK TREE OR BUFFER TREE, IN FAIR OR BETTER CONDITION.

Tree Calculations:

NOTE: EXISTING CANOPY IS CALCULATED FROM EXISTING TREES TO REMAIN PER CITY OF PINE LAKE TREE ORDINANCE.

1. CANOPY COVERAGE - EXISTING CANOPY TO REMAIN
 NOTE - THE SMALLER CANOPY COVERAGE FOR TREE TYPES WERE SELECTED TO PROVIDE A CONSERVATIVE ESTIMATION, WITH EXCEPTION OF LANDMARK TREES, WHICH WERE GIVEN THE 1250 SF CANOPY COVERAGE ESTIMATION.
 (1) OAK TREE AT 1,000 SQFT EACH = 1,000 SQFT
 (2) POPLAR TREE AT 500 SQFT EACH = 1,000 SQFT
 (1) PINE TREE AT 1,000 SQFT EACH = 1,000 SQFT
 (0) LANDMARK HARDWOOD TREES AT 1,250 SQFT EACH = 0 SQFT
 = 3,000 SQFT TOTAL EXISTING CANOPY TO REMAIN

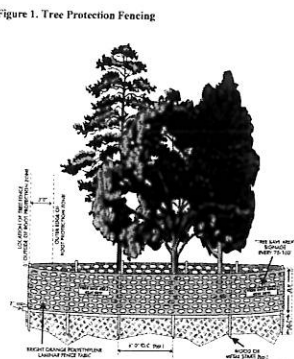
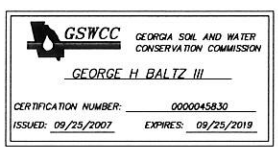
2. REPLACEMENT/RECOMPENSE - LANDMARK TREES
 REMOVAL OF ZERO (0) LANDMARK TREES = 0 SF OF EXISTING CANOPY TO BE REMOVED.
 REQUIRED RECOMPENSE/REPLACEMENT = PER CITY OF PINE LAKE, REQUIRED REPLACEMENT IS 150% CANOPY PER EACH LANDMARK TREE REMOVED (OR 2 LARGE REPLACEMENT TREES PER EACH LANDMARK TREE REMOVED)
 0 LANDMARK TREES TO BE REMOVED = 0 REPLACEMENT TREES FOR LANDMARK RECOMPENSE

- REPLACEMENT TREES/ REPLACEMENT CANOPY COVERAGE:
 0 SQFT TOTAL REPLACEMENT/RECOMPENSE CANOPY
3. TOTAL PROPOSED CANOPY
 PROPOSED EXISTING CANOPY TO REMAIN ONSITE = 3,000 SQFT
 PROPOSED RECOMPENSE/REPLACEMENT CANOPY = 0 TREES = 0 SQFT
 TOTAL PROPOSED CANOPY (EXISTING + PROPOSED REPLACEMENT) = 3,000 SQ FT
 REQUIRED CANOPY = 7,943 SQFT X 30% = 2,383 SQFT (REQUIREMENT MET)

4. COST ASSIGNMENT
 PER CITY OF PINE LAKE TREE ORDINANCE ADMINISTRATIVE STANDARDS, WHEN PROPOSED CONSTRUCTION CAUSES CANOPY TO FALL BELOW THE MINIMUM CANOPY REQUIREMENT, ONE (1) CANOPY CREDIT WILL BE CALCULATED FOR EACH 250 SQUARE FOOT INCREMENT DEFICIT. CANOPY CREDITS SHALL BE ASSESSED AT A COST OF \$375.00 PER CREDIT.
 PROPOSED EXISTING CANOPY TO REMAIN ONSITE= 2,000 SF
 REQUIRED CANOPY = 2,383 SF
 SQUARE FOOT OF DEFICIENT CANOPY = 2,383 - 2,000 SF = 383 SF = 500 SF
 CANOPY CREDIT = 500 SF / 250 SF = 2
 REQUIRED COST = 2 CANOPY CREDIT X \$375.00 = \$750.00 (TO BE PAID TO THE CITY)

Soil Legend:

PuE - PACOLET-URBAN LAND COMPLEX, 10 TO 25 PERCENT SLOPES



SEE TREE PLANTING DETAIL ON C-3

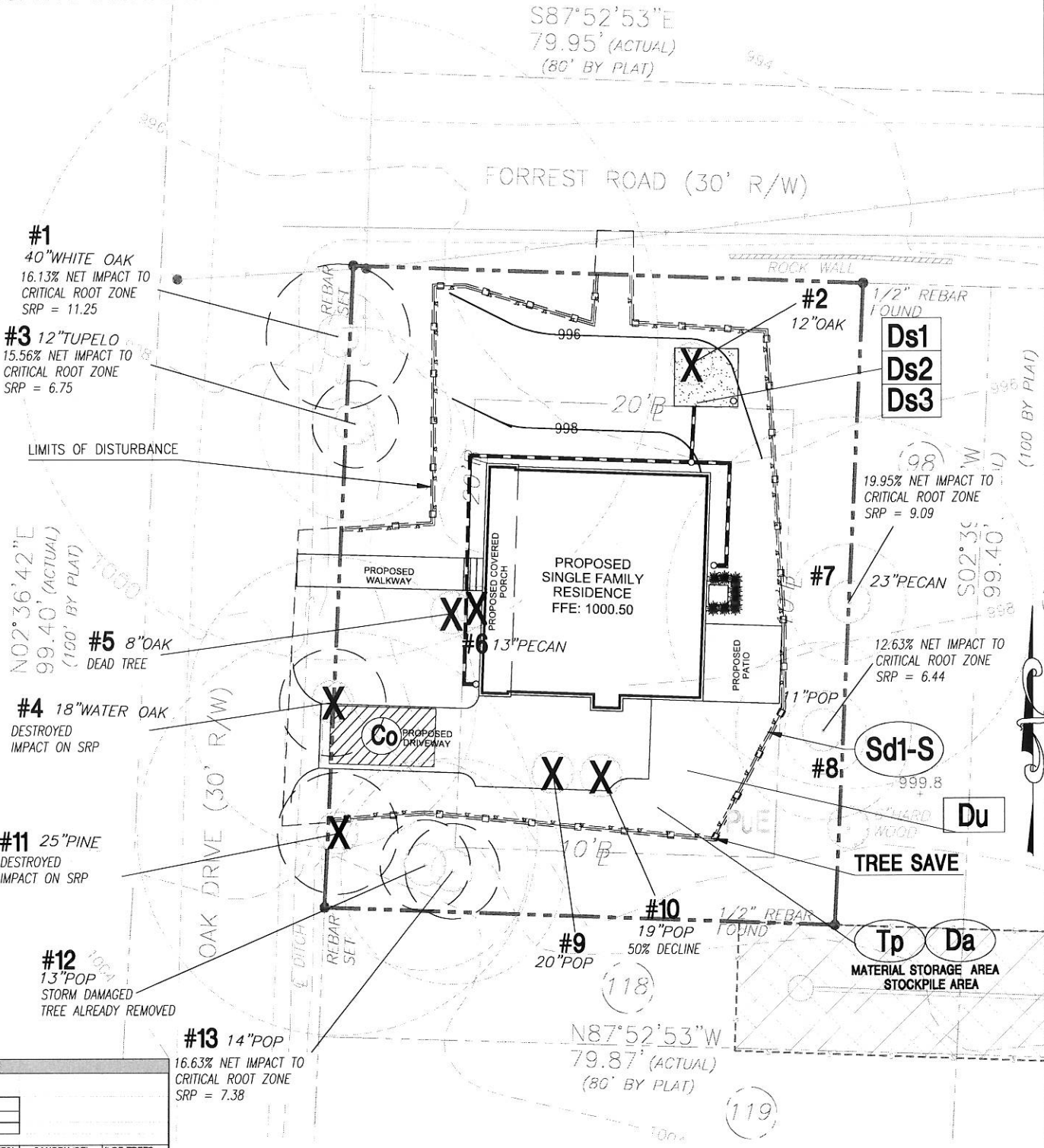
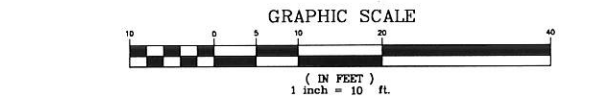
TREE REMOVAL/REPLACEMENT SUMMARY

SITE DATA		SF	
LOT SIZE		7,943	
REQUIRED CANOPY AREA (30%)		2,382.9	
REQUIRED REPLACEMENT FOR LANDMARK TREE & CANOPY COVERAGE			
LANDMARK PER CITY OF PINE LAKE, REQUIRED REPLACEMENT IS 150% CANOPY PER EACH LANDMARK TREE REMOVED (OR 2 LARGE REPLACEMENT TREES PER EACH LANDMARK TREE REMOVED)	DBH (IN INCHES)	CANOPY (SF)	# OF TREES
0 LANDMARK TREE REMOVED = 0 RECOMPENSE/REPLACEMENT TREES	0.00	0	0
ADDITIONAL REPLACEMENT TREES - REQUIRED TO MEET MIN. CANOPY AREA	0.00	0	0
TOTAL PROPOSED REPLACEMENT CANOPY	0.00	0	0
EXISTING ON SITE DATA			
TOTAL EXISTING ONSITE CANOPY	DBH (IN INCHES)	CANOPY (SF)	# OF TREES
TOTAL EXISTING ONSITE CANOPY	147.00	5,500	9
TOTAL EXISTING ONSITE CANOPY AFTER CLEARING	62.00	3,000	4
PROPOSED CANOPY			
EXISTING ONSITE CANOPY AFTER CLEARING	DBH (IN INCHES)	CANOPY (SF)	# OF TREES
EXISTING ONSITE CANOPY AFTER CLEARING	62.00	3000	4
REPLACEMENT CANOPY/FRONT YARD REQUIRED CANOPY	0.00	0	0
TOTAL PROPOSED CANOPY (EXISTING + REPLACEMENT)	62.00	3,000	4
TOTAL REQUIRED CANOPY		2,383	
PROPOSED CANOPY > REQUIRED CANOPY			REQUIREMENTS MET

City of Pine Lake Landscape Notes:

CONTACT THE CITY OF PINE LAKE AT 404-292-4250 TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITIES.

JOSHUA CORRELL, IS A CERTIFIED ARBORIST OF ATLANTA ARBOR (404-392-0129) PERFORMED AN ON-SITE LEVEL 1 SURVEY/INSPECTION OF 13 TREES TO DETERMINE THEIR SPECIES, DIAMETER, CURRENT CONDITION. THEREFORE TREES ON PLAN MAY DIFFER FROM THE SURVEY. TREES WERE BE TAGGED WITH PROPER DIAMETER MEASUREMENT (DBH).



Prepared By:
CRESCENT VIEW ENGINEERING, LLC.
 211 Fraser Street SE
 Marietta, GA 30060
 678-324-8410
 www.crescentvieweng.com

Prepared For
Haus Zwei Homes
 447 Oak Drive
 Pine Lake, GA 30072

ESPC & Tree Protection And Replacement Plan

DATE	REVISIONS
5-17-22	AS SHOWN
	PZ
	GHB



Site Plan For
455 Oak Drive
 Land Lot 41, 18th District
 City of Pine Lake, Georgia

CVE PI # 18-044

Sheet No.
C-2

**455 OAK DRIVE, PINE LAKE, GEORGIA 30072
CITY OF PINE LAKE, DEKALB COUNTY
NEW RESIDENTIAL CONSTRUCTION
BUILDING PERMIT PACKAGE
ISSUED FOR CONSTRUCTION**

NOT ISSUED FOR PERMIT FOR CONSTRUCTION

Kathleen Curry, LLC
Home Work Architectural Studio
Kathleen Curry, Architect
404.819.6150
kcurry@homeworkarchitecturalstudio.com

HAUSZWEI HOMES
455 Oak Drive, Pine Lake, Georgia 30072



THESE DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT (KATHLEEN CURRY, LLC) AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
ISSUED FOR CONSTRUCTION
11.18.2022

PROJECT 22-0
SHEET

T-101

CONTACT INFORMATION

OWNER
KEVIN POLITE
SOLID SOURCE REALTY, INC.
HAUSZWEI HOMES
ATLANTA, GEORGIA

ATTN: KEVIN POLITE
PHONE: (404) 299-7100
EMAIL: KEVIN@HAUSZWEIHOMES.COM

ARCHITECT
KATHLEEN CURRY
KATHLEEN CURRY, LLC
HOME WORK ARCHITECTURAL STUDIO
ATLANTA, GEORGIA

ATTN: KATHLEEN CURRY
PHONE: (404) 819-6150
EMAIL: KCURRY@HOMEWORKARCHITECTURALSTUDIO.COM

STRUCTURAL ENGINEER
MATT HAMMOND, PE
MH STRUCTURES, LLC
POWDER SPRINGS, GEORGIA

ATTN: MATT HAMMOND, PE
PHONE: (404) 495-4889
E-MAIL: MATT@MHSTRUCTURES.COM

CIVIL ENGINEER
GEORGE HENRY (TREY) BALTZ, III, PE, LEED AP
CRESCENT VIEW ENGINEERING, LLC
MARIETTA, GEORGIA

ATTN: TREY BALTZ
PHONE: (678) 324-8410 X102
E-MAIL: TREY@CRESCENTVIEWENG.COM

CONTRACTOR
TO BE DETERMINED CONTACT
TO BE DETERMINED COMPANY

ATTN: TBD
PHONE: (770) TBD-000
E-MAIL: TBD@HOTMAIL.COM

DRAWING LIST

SHEET	SHEET DESCRIPTION	ISSUE DATE	REVISION DATE
T-101	TITLE SHEET	2022-11-18	
CV	CIVIL SET COVER SHEET	2022-11-18	
C-100	EXISTING SITE SURVEY	2022-11-18	
D-1	DEMOLITION PLAN	2022-11-18	
C-1	SITE PLAN	2022-11-18	
C-2	ES&PC PLAN	2022-11-18	
C-3	TREE PLAN	2022-11-18	
C-4	CONSTRUCTION DETAILS	2022-11-18	
A-101	FLOOR PLAN NEW	2022-11-18	
A-201	ROOF PLAN	2022-11-18	
A-300	ELECTRICAL AND LIGHTING LEGEND	2022-11-18	
A-301	ELECTRICAL AND LIGHTING PLAN	2022-11-18	
A-401	EXTERIOR ELEVATIONS	2022-11-18	
A-402	EXTERIOR ELEVATIONS	2022-11-18	
A-501	WALL SECTION	2022-11-18	
A-601	EXTERIOR DETAILS	2022-11-18	
A-602	EXTERIOR DETAILS	2022-11-18	
A-701	INTERIOR DETAILS	2022-11-18	
A-801	DOOR AND WINDOW INFORMATION	2022-11-18	
A-901	INTERIOR ELEVATIONS	2022-11-18	
A-902	INTERIOR ELEVATIONS	2022-11-18	
S001	GENERAL NOTES	2022-11-18	
S002	ENGINEERED WOOD PRODUCT DATA	2022-11-18	
S101	FOUNDATION PLAN	2022-11-18	
S102	FLOOR FRAMING PLAN	2022-11-18	
S103	CEILING FRAMING PLAN	2022-11-18	
S104	ROOF FRAMING PLAN	2022-11-18	
S201	FOUNDATION DETAILS	2022-11-18	
S202	TYPICAL FRAMING DETAILS	2022-11-18	
S203	FRAMING DETAILS	2022-11-18	
S204	DECK DETAILS	2022-11-18	

APPLICABLE CODES

CODES IN EFFECT	NAME OF CODE	EDITION
BUILDING	INTERNATIONAL RESIDENTIAL CODE WITH CURRENT (2020) GEORGIA AMENDMENTS	2018
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE WITH CURRENT (2020) GEORGIA AMENDMENTS	2018
PLUMBING CODE	INTERNATIONAL PLUMBING CODE WITH CURRENT (2020) GEORGIA AMENDMENTS	2018
GAS CODE	INTERNATIONAL FUEL GAS CODE WITH CURRENT (2020) GEORGIA AMENDMENTS	2020
ELECTRICAL CODE	NATIONAL ELECTRICAL CODE (NEC) WITH CURRENT GEORGIA AMENDMENTS	2020
FIRE PREVENTION	INTERNATIONAL FIRE CODE WITH CURRENT (2020) GEORGIA STATE FIRE COMMISSIONER AMENDMENTS (120-3-3-.04)	2018
ENERGY CODE	INTERNATIONAL ENERGY CONSERVATION CODE WITH CURRENT (2020) GEORGIA AMENDMENTS AND SUPPLEMENTS	2015

GENERAL NOTES

- THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE TO ENSURE THAT PROPER MUNICIPAL BUILDING PERMITS ARE OBTAINED, AND THAT THE WORK IS PROPERLY PERFORMED IN ACCORDANCE WITH GOVERNING LAWS.
- TO PLANS, NOTES, SPECIFICATIONS, DETAILS AND ALL OTHER INFORMATION DEPICTED IN THIS SET OF DRAWINGS HAS BEEN PREPARED TO MEET THE LATEST EDITION. IT IS THE RESPONSIBILITY OF THE OWNER / BUILDER / CONTRACTOR TO VERIFY LOCAL, COUNTY AND STATE CODE ENFORCEMENT AGENCIES COMPLIANCE WITH BUILDING CODES AND ORDINANCES FOR CONSTRUCTION. ANY CHANGES MADE TO THE PLANS AFTER APPROVAL BY THE GOVERNING AREA MUST BE DONE SO WITH THE CONSENT OF KATHLEEN CURRY LLC; ANY CHANGES MADE WITHOUT CONSENT WILL FORFEIT KATHLEEN CURRY LLC FROM ANY LEGAL CONTINGENCIES WHICH MAY RESULT FROM CHANGES.
- IT IS THE CONTRACTOR'S / SUB-CONTRACTORS' RESPONSIBILITY TO REVIEW ALL INFORMATION CONTAINED HEREIN AND TO BE RESPONSIBLE FOR THE CONSTRUCTION STABILITY AND, ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED.
- THE CONTRACTOR IS ENCOURAGED TO VISIT THE JOB SITE AND CHECK ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A PRICE FOR PERFORMING ANY WORK.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS AND GOVERNING AUTHORITIES AS RELATED TO THIS PROJECT.
- ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS UNLESS A WRITTEN VARIANCE IS APPROVED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL WORKERS ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS SHALL WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS. THE OWNER SHALL BE FURNISHED WITH CERTIFICATES OF SAID INSURANCE. CONTRACTORS SHALL FOLLOW THE SAFETY PROCEDURES DURING THIS PROJECT. THIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL WORK SHALL BE GUARANTEED BY THIS CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE FINAL PAYMENT, CERTIFIED IN WRITING TO THE OWNER BY THE CONTRACTOR.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT ANY DISCREPANCIES TO THE ARCHITECT OR OWNER FOR CLARIFICATION PRIOR TO EXECUTION OF THE WORK IN QUESTION. CONTRACTOR TO VERIFY DIMENSIONS WITH FIELD CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION WORK.
- ALL DIMENSIONS ARE TO FACE OF BRICK, CONCRETE BLOCK OR FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS UNLESS WRITTEN NOTIFICATION TO THE CONTRARY IS ISSUED AND SIGNED BY THE OWNER AND/OR ARCHITECT.
- THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN IN THE DOCUMENTS ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH, WHETHER SHOWN HEREON OR NOT, PRIOR TO ANY EXCAVATION.
- ALL VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUIT, AND SIMILAR ASSEMBLIES IN FINISHED ROOMS SHALL BE ENCLOSED IN A FINISHED CHASE. THE MATERIALS AND FINISHES OF SUCH CHASES SHALL MATCH ADJACENT FINISHED WALLS.
- FURNISH ACCESS PANELS IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL IN FIRE RATING TO SURFACE IN WHICH THEY OCCUR. REFER TO ENGINEER'S DRAWINGS FOR LOCATION OF MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- PROVIDE CONTROL JOINTS IN GYPSUM WALL BOARD AS SHOWN IN THE DRAWINGS. OR IF NOT SHOWN, MAXIMUM ALLOWED PER MANUFACTURER'S SPECIFICATIONS.
- GYPSUM WALLBOARD IN ROOMS SUBJECT TO MOISTURE ACCUMULATION (TOILETS, SHOWERS, JANITORS CLOSETS, ETC.) SHALL BE MOISTURE RESISTANT TYPE.
- IMMEDIATELY NOTIFY ARCHITECT OR OWNER IN WRITING IF ANY OMISSION, DISCREPANCY, AMBIGUITY OR ERROR IN THE CONTRACT DOCUMENTS BE DISCOVERED OR IF ANY DOUBT AS TO THE MEANING OR INTENT THEREOF SHOULD ARISE. CLARIFICATION WILL BE MADE BY REVISION TO THE CONTRACT DOCUMENTS.
- UPON AWARDING CONTRACTS TO SUBCONTRACTORS, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT AND THE OWNER, A SCHEDULE OF WORKING LEAD TIME ITEMS ON THE PROJECT (I.E. MATERIALS, HARDWARE, FABRICS, ETC.), AND SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT/INTERIOR DESIGNER AND OWNER AS TO ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED, PRIOR TO ORDERING THAT ITEM.
- CONTRACTOR SHALL NOT USE ANY MATERIALS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS.
- SHOP DRAWINGS AND SAMPLES SHALL BE SUBMITTED FOR APPROVAL TO THE ARCHITECT OR OWNER PRIOR TO CONSTRUCTION AND/OR PURCHASE OF MATERIALS DESCRIBING THE OVERALL SCOPE AS WELL AS COMPLETE DETAILS OF WORK TO BE PERFORMED. ALL FABRICATION SHALL BE BASED ON ACTUAL FIELD DIMENSIONS.
- CONTRACTOR TO VERIFY WITH THE OWNER AND/OR OWNER'S REPRESENTATIVES ALL PLUMBING AND ELECTRICAL REQUIREMENTS FOR EQUIPMENT PROVIDED BY THE OWNER.
- ELECTRICAL CIRCUITING, WIRING SIZE, CONDUIT SIZE, AND LOCATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE NUMBER OF LIGHT FIXTURES AND EQUIPMENT ON ONE CIRCUIT SHALL NOT EXCEED CODE RESTRICTIONS.
- ALL ELECTRICAL MATERIALS SHALL BE NEW AND SHALL BE LISTED BY UNDERWRITERS LABORATORIES.
- ALL COVER PLATES FOR ELECTRICAL OUTLETS, SWITCH PLATES, DATA OUTLETS, ETC., SHALL BE APPROVED BY THE ARCHITECT, INTERIOR DESIGNER, OR OWNER.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL HVAC WORK WITH THE LIGHTING TO AVOID CONFLICTS. CONTRACTOR TO NOTIFY ARCHITECT OF CONFLICTS BEFORE PROCEEDING.
- INTERIOR CONTRACT DOCUMENTS HOLD PRECEDENCE OVER ENGINEER DOCUMENTS FOR LOCATIONS, MOUNTING HEIGHTS, ETC. IF THERE IS A CONFLICT BETWEEN DOCUMENTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY FOR DIRECTION.
- CONTRACTOR TO PROTECT ANY EXISTING TO REMAIN AREAS, EQUIPMENT AND MATERIALS IN THE HOUSE DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED DURING REMOVAL OF PORTIONS OF HOUSE, UNTIL WORK IS COMPLETED ENSURE THAT THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING WILL NOT BE IMPAIRED BY THE DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL CONSTRUCTION DEBRIS AS REQUIRED BY LOCAL BUILDING CODES. THE CONTRACTOR SHALL LEAVE THE BUILDING COMPLETELY FREE OF DUST AND READY FOR OCCUPANCY.
- THE CONTRACTOR SHALL PERFORM ALL NECESSARY MEASURES TO ENSURE THAT NO DUST, DIRT OR OTHER CONSTRUCTION DEBRIS ENTERS ANY AREA OF THE BUILDING OTHER THAN THE AREAS BEING RENOVATED.
- THE CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION AND REMOVALS AS INDICATED ON THE DRAWINGS, BUT NOT LIMITED TO THE FOLLOWING: TO COMPLETE THE WORK.
- CUT AND PATCH WITH CARE TO AVOID DAMAGE TO WORK, SAFETY HAZARDS, VIOLATION OF WARRANTY REQUIREMENTS, BUILDING CODE VIOLATIONS, OR MAINTENANCE PROBLEMS.
- FOR CUTTING WORK, USE PROPER CUTTING TOOLS, NOT CHOPPING TOOLS. MAKE NEAT HOLES. MINIMIZE DAMAGE TO SURROUNDING AREAS. CHECK FOR CONCEALED UTILITIES AND STRUCTURE BEFORE CUTTING.
- MAKE PATCHES, SEAMS, AND JOINTS DURABLE AND INCONSPICUOUS. TOLERANCES FOR PATCHING SHALL BE THE SAME AS FOR NEW WORK.
- MATCH EXISTING MATERIALS WITH NEW MATERIALS SO THAT PATCHING WORK IS UNDETECTABLE.
- CLEAN WORK AREAS AND AREAS AFFECTED BY CUTTING AND PATCHING OPERATIONS.
- PERFORM WORK WITH WORKMEN SKILLED IN THE TRADES INVOLVED. PREPARE SAMPLE AREA OF EACH TYPE OF WORK FOR APPROVAL. PROTECT ADJACENT WORK FROM DAMAGE AND DIRT.

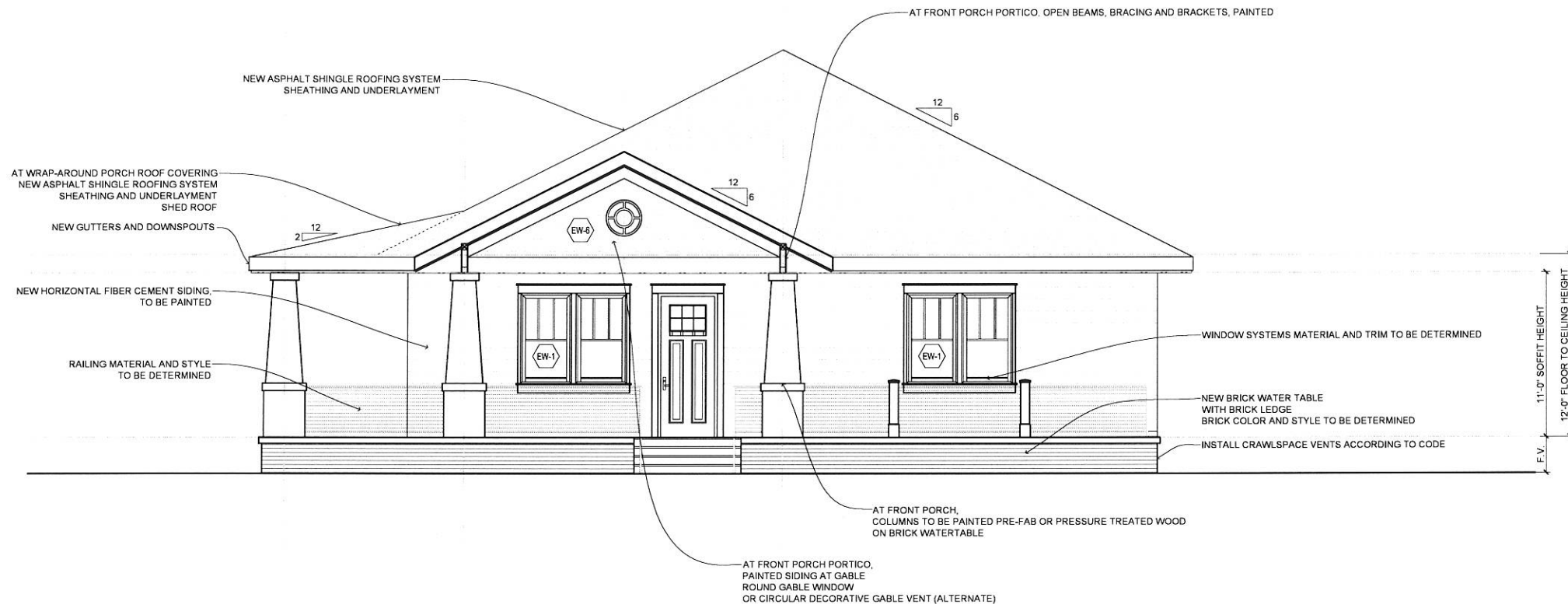
PROJECT SCOPE

PROJECT LOCATION:
455 OAK DRIVE IN THE CITY OF PINE LAKE, IN DEKALB COUNTY, GEORGIA, 30072

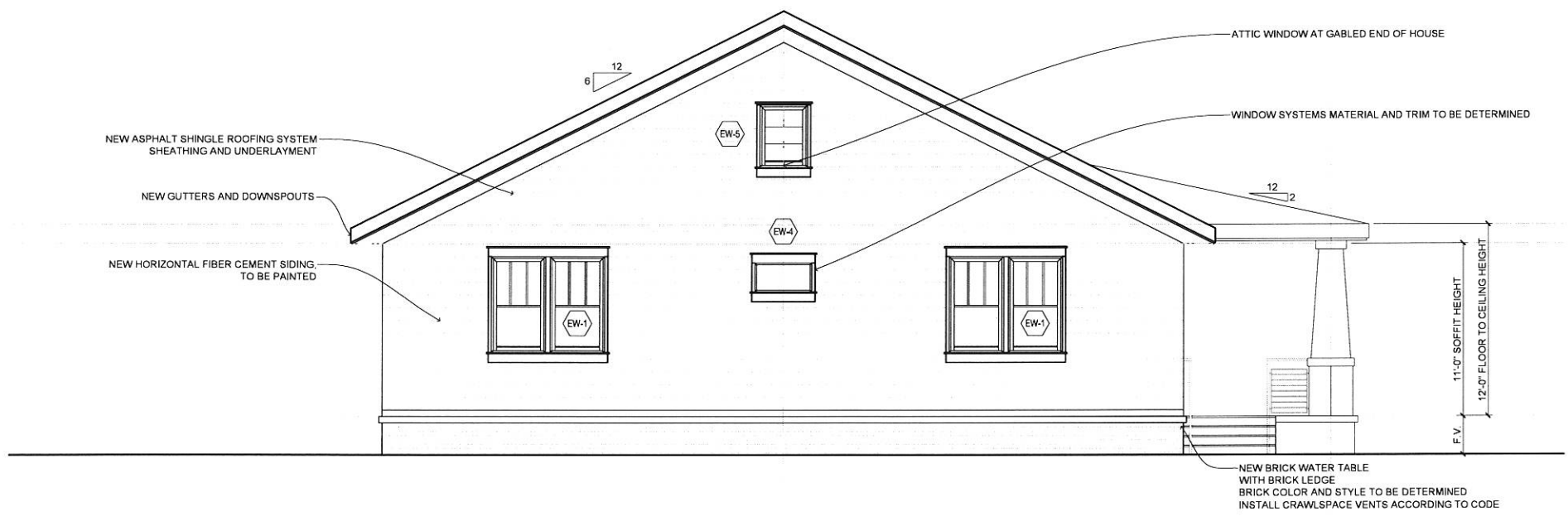
PROJECT DESCRIPTION:
NEW CONSTRUCTION OF A ONE-STORY HOME. HOME TO CONTAIN THREE BEDROOMS, THREE FULL BATHROOMS, AND A FRONT WRAP-AROUND PORCH.

PROJECT INFORMATION:

- MAIN HOUSE LEVEL CONDITIONED: 2016 SQUARE FEET
- FRONT PORCH: 657 SQUARE FEET



A ELEVATION - FRONT MAIN VIEW
1/4" = 1'-0"



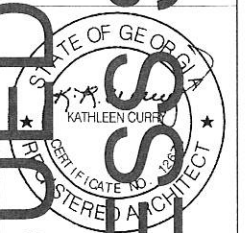
B ELEVATION - REAR VIEW
1/4" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

NOT ISSUED FOR PERMIT SET DO NOT USE

Kathleen Curry, LLC
Home Work Architectural Studio
Kathleen Curry, Architect
404.819.6150
kcurry@homeworkarchitecturalstudio.com

H a u s z w e i H o m e s
4 Peak Drive, Pine Lake, Georgia 3072

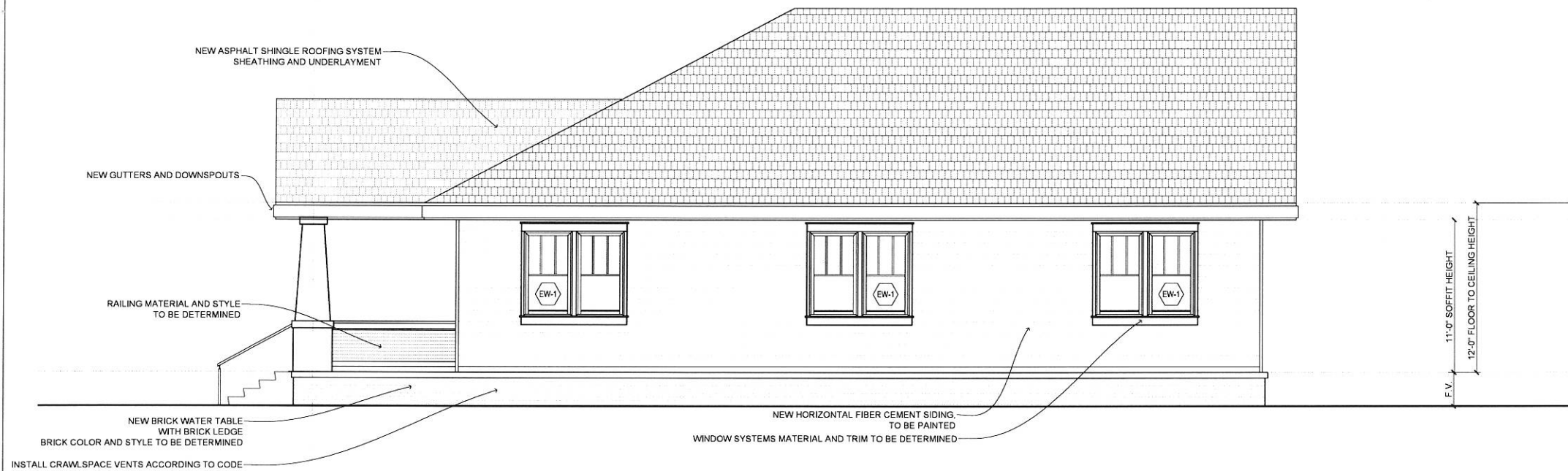


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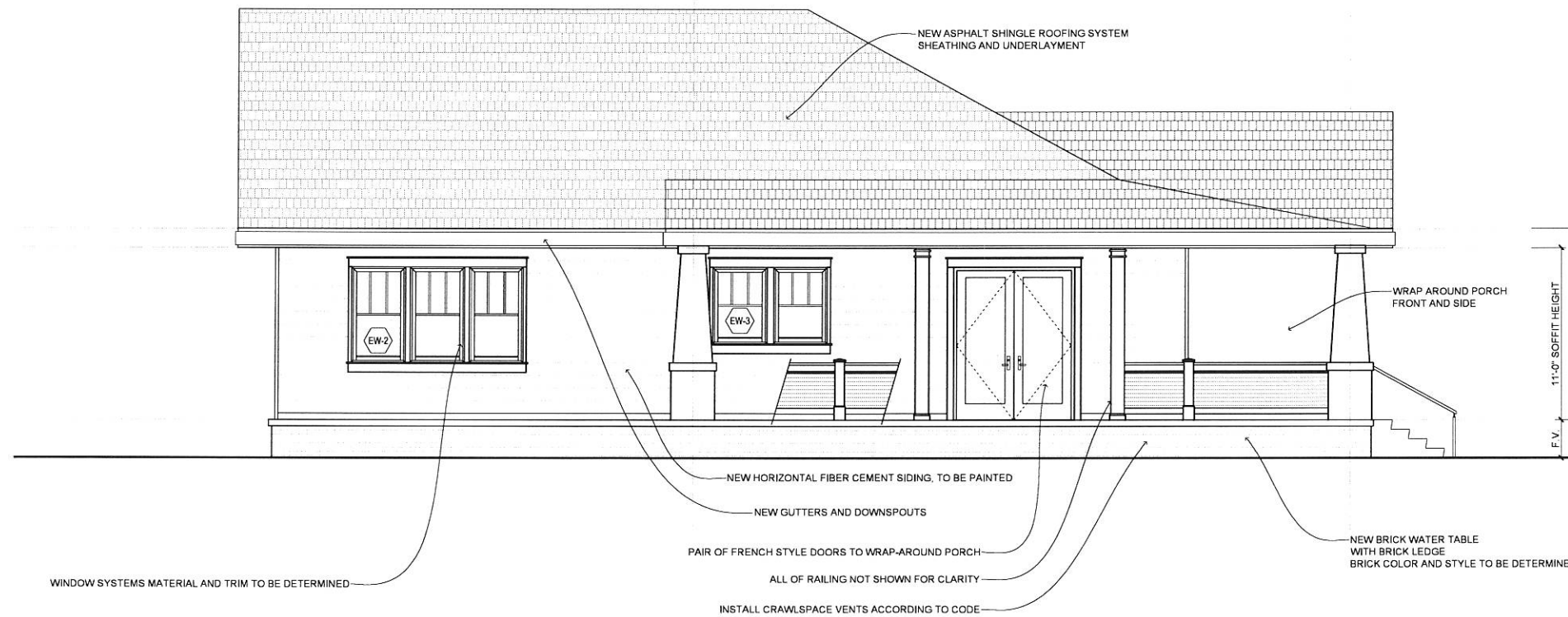
ISSUED FOR CONSTRUCTION

11.18.2022 : ISSUED FOR CONSTRUCTION

PROJECT 22-01



C ELEVATION - SIDE BEDROOM VIEW
1/4" = 1'-0"



D ELEVATION - SIDE MAIN LIVING VIEW
1/4" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

NOT ISSUED FOR PERMIT SET HOME S

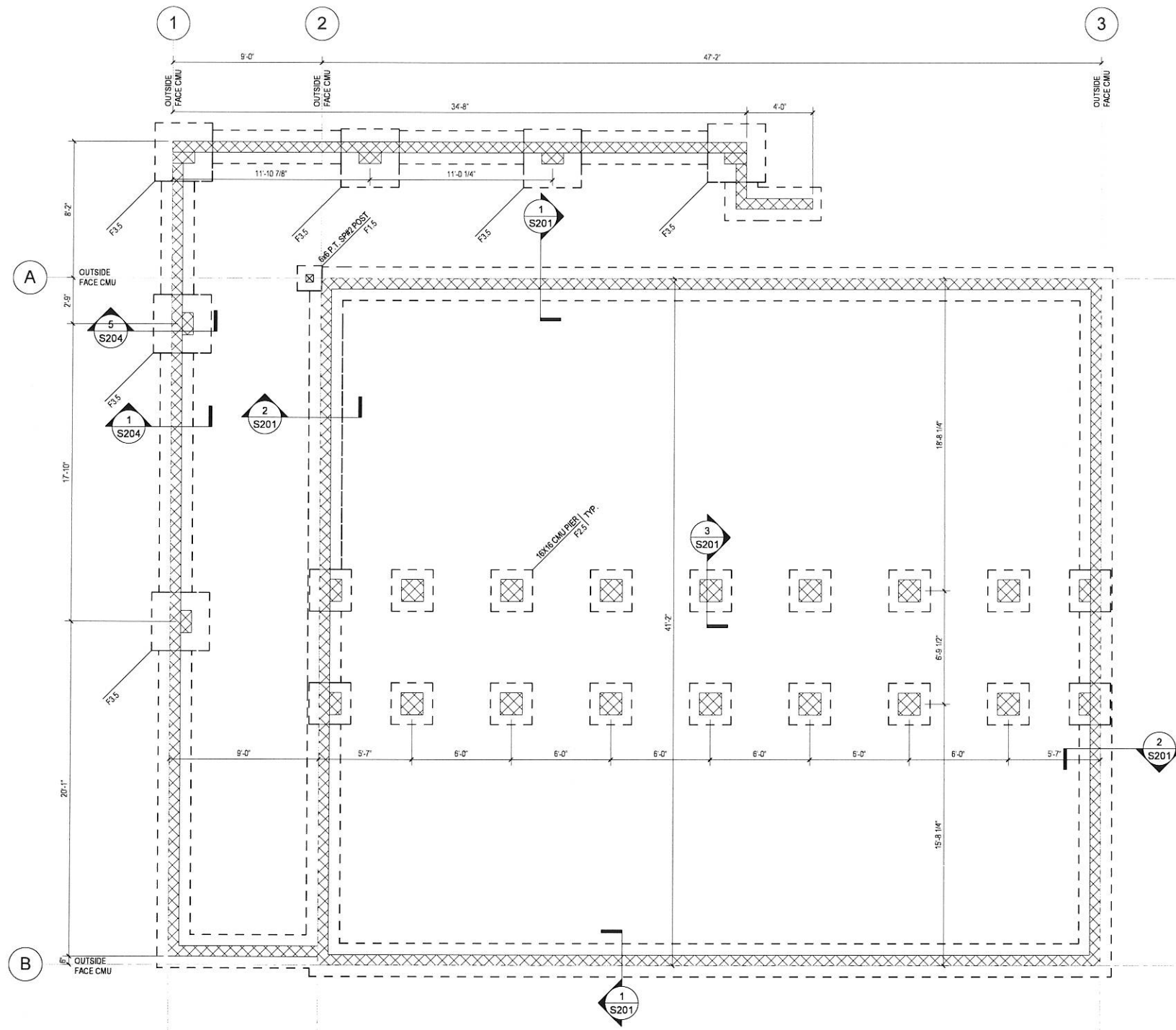
Kathleen Curry, LLC
Home Work Architectural Studio
Kathleen Curry, Architect
404.819.6150
kcurry@homeworkarchitecturalstudio.com

H a u s z w e i H o m e s
4 Oak Drive, Pine Lake, Georgia 3072



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ISSUED FOR CONSTRUCTION
11.18.2022 : ISSUED FOR CONSTRUCTION

PROJECT 22-0
EXTERIOR ELEVATIONS



1 FOUNDATION PLAN
 S101 SCALE: 1/4" = 1'-0"

- FOUNDATION PLAN NOTES:**
- TOP OF SLAB ELEVATION IS 0'-0" WITH RESPECT TO GROUND FLOOR REFERENCE ELEVATION.
 - PROVIDE CRAWL SPACE ACCESS PER BUILDING CODE. LOCATE PER ARCHITECTURAL PLANS.
 - LOCATE CRAWL SPACE VENTILATION PER ARCHITECTURAL PLANS. REFER TO DETAIL 1S204 FOR VENTILATION THROUGH CMU WALL.

- FOUNDATION LEGEND**
- F-# FOOTING MARK; REFER TO FOOTING SCHEDULE ON S101
 - ⊕ T/ X'-X" SPOT ELEVATION
 - 6S INDICATES FOOTING STEP. REINFORCE FOOTING STEP PER DETAIL 5/S201.
 - Ⓢ INDICATES KEY NOTE. REFER TO FOUNDATION PLAN NOTES ON THIS SHEET.

FOOTING SCHEDULE

Type	Width	Length	Thickness	Top Reinf.	Botl Reinf.
F15	1'-6"	1'-6"	1'-0"	NONE	2 #4, E.W.
F25	2'-6"	2'-6"	1'-0"	NONE	3 #5, E.W.
F35	3'-6"	3'-6"	1'-0"	NONE	3 #5, E.W.

2 FOOTING SCHEDULE
 S101 SCALE: 3/4" = 1'-0"

MH STRUCTURES
 Integrity in our foundation.
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 Suite 401
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 30127
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NOT ISSUED FOR CONSTRUCTION
NOT ISSUED FOR PERMIT
PROJECT SET-DONOT USE



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ISSUED FOR CONSTRUCTION
 11/18/2022 : Permit 22-0118

PROJECT 22-0118

FOUNDATION PLAN

455 Oak Drive
Pine Lake, Georgia 30072

**SUMMARY AND JUSTIFICATION FOR
VARIANCE APPLICATION REQUEST**

Dear City of Pine Lake,

I am the Architect assisting my client, Kevin Polite of HausZwei Homes, the owner of the two properties at 447 and 455 Oak Drive, to design and develop two new homes on that street.

I am writing this letter to request approval for a zoning variance to increase the impervious lot coverage from 35% to 41.27% (6.27% increase) at 455 Oak Drive specifically. Below are justifications for variance approval from the zoning ordinance.

The property at 455 Oak Drive is significantly smaller than 447 Oak Drive, by 1,943 square feet.

455 Oak Drive lot area = 7,943 sf
455 Oak Drive proposed impervious area = 3,278 sf (41.27%)

447 Oak Drive lot area = 9,885 sf
447 Oak Drive proposed impervious area = 3,160 sf (31.97%)

The subject property also has more stringent building setbacks due to its corner lot location, requiring each street face to have a larger front building setback.

The lot is more difficult to develop, giving its small size and restrictions.

The basic design of the new house is not extreme or outrageous; it is keeping with the spirit of Pine Lake. In fact, if developed, the new house would improve the current corner greatly, while also enhancing the street and enriching neighborhood. Property values would certainly increase.

Considering that Kevin Polite is developing two lots on Oak Drive simultaneously, it should be noted that the combined lots' square footage is 17,828 square feet. And combined, their impervious lot coverage is 36.11%, which is closer to the required 35% by zoning.

Total proposed impervious area = 3,466 sf + 3,260 sf = 6,438 sf
Total lot coverage = 6,438 sf / 17,828 sf = 36.11%

This variance request does not cause substantial detriment to the public good or impair the purposes and intent of the zoning ordinance of Pine Lake in Dekalb County.

The zoning variance is required to get a building permit to build.

CITY OF PINE LAKE
Variance Application

455 Oak Drive
Pine Lake, Georgia 30072

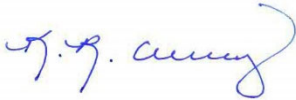
HOME WORK ARCHITECTURAL STUDIO
Kathleen Curry, LLC
Kathleen Curry, Architect
(404) 819-6150

Page 2

All in all, the proposed project will not diminish safety from fire, panic, or other dangers. The proposed project will not diminish the amount of light and air to the neighboring properties. And the proposed project is proportionate and appropriate with the other single-family homes in this area. Kevin Polite's design will be a positive change for the surrounding area.

Please contact me if you have any questions or concerns. We look forward to working with you.

Thank you,



Kathleen Curry, Architect
Home Work Architectural Studio
Kathleen Curry, LLC
404-819-6150

January 6, 2022



CRESCENT VIEW ENGINEERING, LLC

211 Frasier Street SE
Marietta, GA 30060
Phone: 678-324-8410
trish@crescentvieweng.com

January 6, 2023

RE: 447 and 455 Oak Drive

To Whom it May Concern,

This is a letter to accurately depict the lot coverage for the two lots located at 447 and 455 Oak Drive per the plans dated 1-4-22. Currently, the proposed lot coverage at 455 Oak Drive is 41.27%. The lot's zoning requirement (R-1) allows 35% lot coverage. The second lot the owner is building on is 447 Oak Drive, which is located directly south of 455 Oak Drive. The proposed lot coverage for this lot is 31.97%, and it is also in the same zoning at 455 Oak Drive (R-1).

If the lot coverage is combined for the two lots, then the overall lot coverage will be 36.11%. While this is still not under the maximum allowed impervious area (35%), it is much less than the proposed lot coverage of 455 Oak Drive by itself. See the calculations below.

455 Oak Drive lot area = 7,943 sf
447 Oak Drive lot area = 9,885 sf
Total lot area = 7,943 sf + 9,885 sf = 17,828 sf

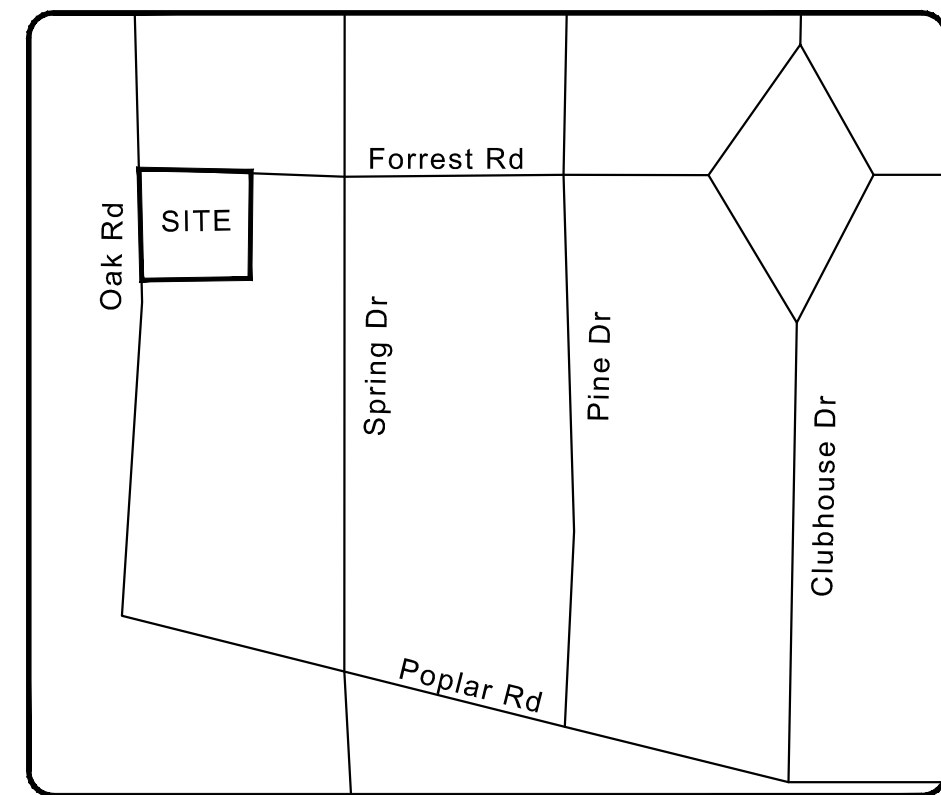
455 Oak Drive proposed impervious area = 3,278 sf
447 Oak Drive proposed impervious area = 3,160 sf
Total proposed impervious area = 3,278 sf + 3,160 sf = 6,438 sf

The overall total lot coverage = 6,438 sf / 17,828 sf = 36.11%

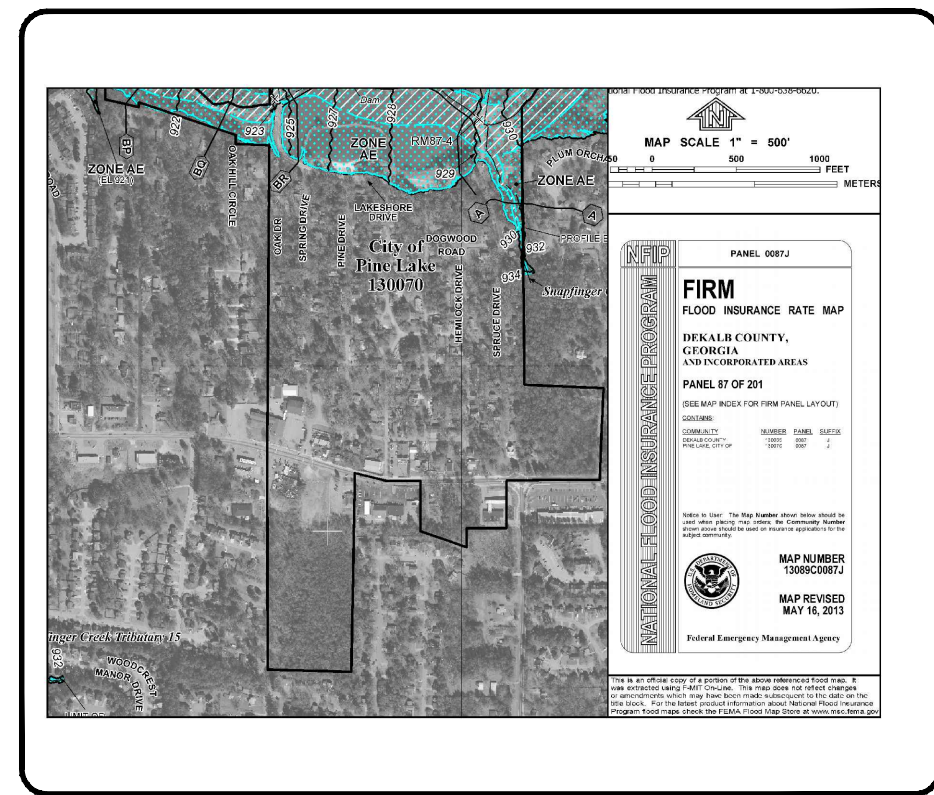
Sincerely,

George H. (Trey) Baltz III, PE, LEED AP

24 HOUR EMERGENCY CONTACT: KEVIN POLITE 404-299-7100



Location Map
N.T.S.



FEMA Map
N.T.S.

Site Notes:

1. THE SITE CONTAINS: 0.182 ACRES
2. SITE ADDRESS: 455 OAK DRIVE, PINE LAKE GA 30072
PARCEL ID NUMBER: 18 041 08 284
3. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY MCLUNG SURVEYING SERVICES, INC., DATED 12-15-17.
4. THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADDED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBERS 13089C0087 J, DATED MAY 16, 2013.
5. THERE ARE NO WATERS OF THE STATE OF GEORGIA OR WETLANDS WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATER BUFFERS.
6. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
7. THE INTENDED USE OF THE PROPERTY WILL BE FOR THE ADDITION OF A NEW SINGLE FAMILY HOME.

Zoning Requirements:

ZONING: R-1
 MINIMUM LOT AREA: 6,000 SQUARE FEET
 MINIMUM LOT DEPTH: 100 FEET
 MINIMUM LOT WIDTH: 60 FEET
 MAXIMUM FLOOR AREA: 2,600 SQUARE FEET
 MAXIMUM LOT COVERAGE: 35%
 MINIMUM LOT WIDTH AT FRONT SETBACK LINE: 75 FEET
 MINIMUM FRONT YARD SETBACK: 20 FEET
 SIDE SETBACK: 8 FEET FOR ONE STORY CONSTRUCTION;
 15 FEET FOR TWO STORY CONSTRUCTION
 REAR SETBACK: 12 FEET FOR ONE STORY CONSTRUCTION;
 10 FEET FOR TWO STORY CONSTRUCTION
 MAX HEIGHT: 32 FEET

Proposed Impervious Area:

Proposed Impervious Area	SF
Proposed House	2016
Proposed Driveway	663
Proposed Walkway and Front Stairs	131
Proposed Covered Porch*	378
Proposed Deck**	90
Proposed Impervious Area	3278
Proposed Lot Coverage %	41.27%

*The total area of the covered porch is 478 sf. According to Sec. 7-6.D., 100 sf of impervious area may be deducted from front porches that are within 30 feet of the street right of way, serve as the front entrance to the dwelling, and have no other stories above it. Therefore, only 378 sf of the porch counts towards impervious area calculations

**The total area of the deck is 180 sf. According to Sec. 7-6.C, 1 sf may be deducted from the lot coverage for every two square feet of deck area. Therefore, only 90 sf of the deck counts towards impervious area calculations

TOTAL SITE ACRES = 0.182 ACRES
TOTAL DISTURBED AREA = 0.13 ACRES

Construction Narrative:

THE PROPOSED PLAN CALLS FOR THE CONSTRUCTION OF A NEW HOME. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.



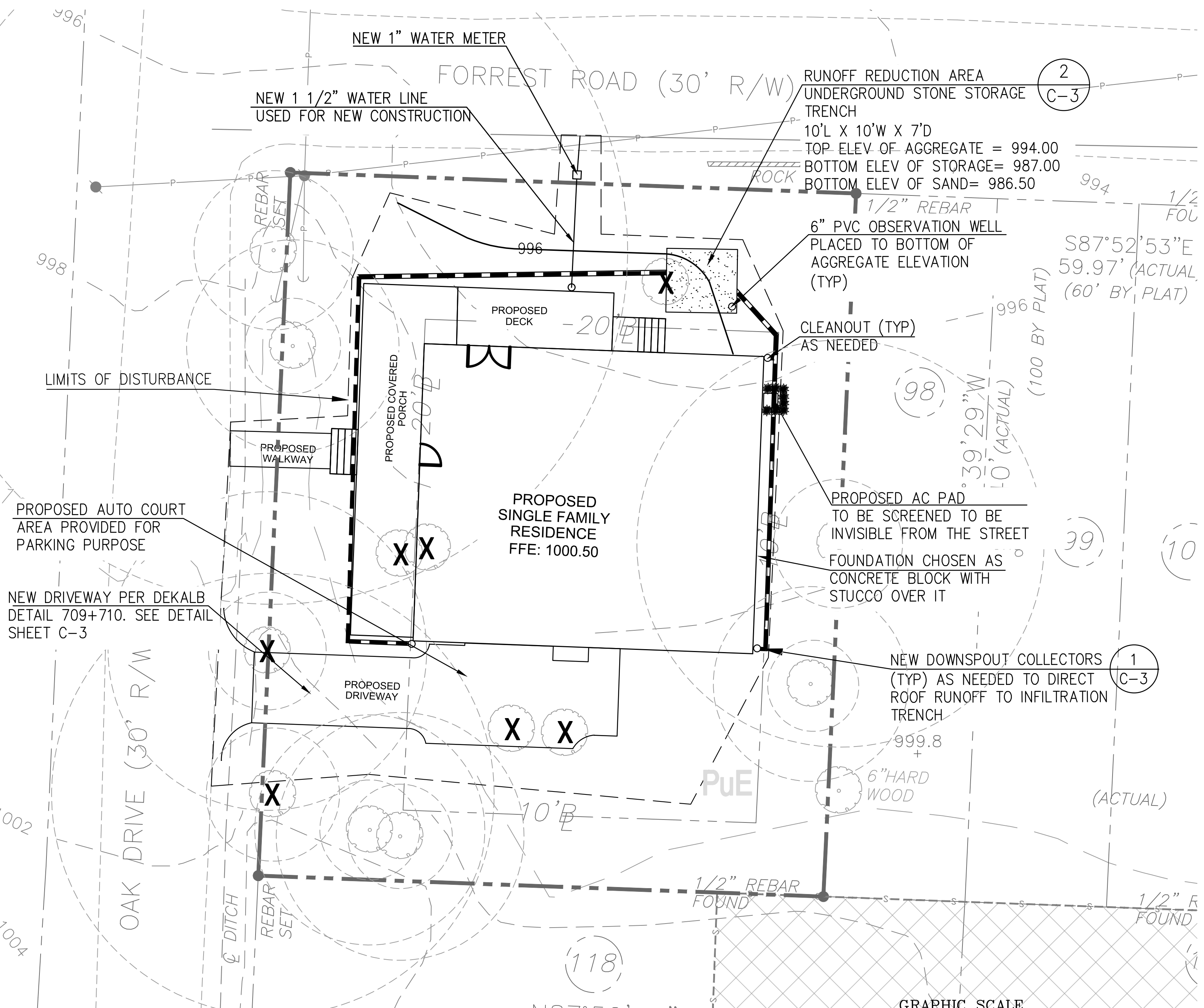
Know what's below.
Call before you dig.

Grading Notes:

1. EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
2. INITIAL BMP'S MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. SEDIMENT BMP'S MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
3. AFTER SITE CLEARING AND PREPARATION, CONTRACTOR SHALL EVALUATE THE EXPOSED SUBGRADE. THIS EVALUATION SHOULD INCLUDE PROOF ROLLING OF SUBGRADE SOILS TO VERIFY THAT THE SUBGRADE IS OF SUFFICIENT COMPACTION AND MATERIAL FOR PLACEMENT OF FILL TO BEGIN. IF REMEDIAL WORK IS REQUIRED, CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER BEFORE PROCEEDING.
4. ALL FILL MUST BE TESTED FOR COMPACTION AND QUALITY DURING THE GRADING OPERATION. PLACE FILL MATERIALS ON CONTINUOUS LAYERS AND COMPACT IN ACCORDANCE WITH ASTM D698. FILL MATERIAL MUST BE CLEAN INORGANIC NATURAL SOIL.
COMPACTION REQUIREMENTS USING STD PROCTOR COMPACTION TEST ASTM D698 (%=MAX. DENSITY AT OPTIMUM MOISTURE CONTENT)
UNPAVED AREAS: TOP 6 INCHES OF SUBGRADE AND SUBSEQUENT LIFTS / 90% SPT
PAVED AREAS:
FILL WALLS:
COMPACTION ZONE FOR THESE AREAS SHALL INCLUDE A BEARING PLANE OF 1:1 FOR FILL AREAS WHICH SHALL EXTEND TO APPROVED SUBGRADE. COMPACTION REQUIREMENTS UNDER CURBING IS CONSIDERED UNDER PAVED AREAS REQUIREMENTS.
5. DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
6. MAXIMUM GRADED SLOPES ALLOWED 2H:1V
7. ALL SLOPES AND AREAS TO BE LANDSCAPED OR GRASSED SHALL BE GRADED SMOOTH AND TOPSOIL APPLIED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. NOTE USE OF TOPSOIL DOES NOT CHANGE FINISH GRADE CONTOURS.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
9. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
10. CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EARTHWORK AND GRADING OPERATIONS FROM GRADING, SEDIMENTATION, OR DAMAGE DURING CONSTRUCTION. REPAIR OR REPLACEMENT OF EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER. REMOVING AND CLEANING UP SEDIMENT ACCUMULATIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL PROVIDE ALL EXCAVATING, FILLING, BACKFILLING, IMPORTING, EXPORTING, AND GRADING REQUIRED TO BRING ENTIRE PROJECT TO THE FINAL GRADES AND ELEVATIONS SHOWN IN THE DESIGN DOCUMENTS.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
14. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES SHOWN TO BE PRESERVED (IF REQUIRED).
15. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA.
16. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
17. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
18. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
19. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES & ITEMS TO REMAIN.
20. CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
22. CONTRACTOR SHALL REPAIR AT HIS/HER EXPENSE, DAMAGE TO ANY NEW OR EXISTING SITE OR NEIGHBOR FEATURES NOT TO BE DEMOLISHED CAUSED BY CONSTRUCTION ACTIVITIES.
23. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COSTS TO THE OWNER.
24. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

Pine Lake Site Plan Checklist:

- PROPERTY SURVEY & SITE PLAN BY CERTIFIED SURVEYOR OR ENGINEER. INCLUDE A NORTH ARROW AND INDICATE SCALE AT EITHER 1/4" INCH = 1 FOOT, OR 1" INCH = 10 FEET ON ALL PAGES.
 NORTH ARROW AND SCALE SHOWN ON SHEET C-1 AND C-2.
 1. ADJACENT STREET RIGHT-OF-WAY AND STREET NAMES.
 OAK DRIVE AND RIGHT-OF-WAY SHOWN ON SHEET C-1 IN DRAWING. ADJACENT STREET IS FORREST ROAD.
 2. WHETHER PROPERTY IS OR IS NOT WITHIN THE FLOOD PLAIN.
 SHOWN ON SHEET C-1 UNDER SITE NOTES.
 3. DISTANCE IN FEET TO ANY STREAM.
 NO STREAM WITHIN 200 FT TO SITE, UNDER SHEET C-1 SITE NOTES.
 4. LOT LINES AND DIMENSIONS.
 SHOWN ON SHEET C-1 IN DRAWING.
 5. REQUIRED BUILDING SETBACK LINES AND DIMENSIONS (AS REQUIRED BY CODE)
 SHOWN ON SHEET C-1 IN DRAWING.
 6. EXISTING DRIVEWAYS AND OTHER ACCESS.
 NO EXISTING DRIVEWAYS TO THE LOT. PROPOSED DRIVEWAY FOR ACCESS SHOWN ON SHEET C-1.
 7. EXISTING LOCATION OF NEIGHBORING STRUCTURES WITHIN 20 FEET OF THE LOT LINE.
 SHOWN ON SHEET C-1 IN DRAWING.
 8. EXISTING TREES AND TYPE WITH A CALIPER OF 8 INCHES OR GREATER AT 4 1/2 FEET ABOVE GRADE.
 SHOWN ON SHEET C-2 IN DRAWING.
 9. EXISTING BUILDINGS, PORCHES, SHEDS, GARAGES, DECKS, FENCES, WALKS, POOLS, DRIVES, ETC.
 SHOWN ON SHEET C-1 IN DRAWING.
 10. PROPOSED BUILDINGS, PORCHES, SHEDS, GARAGES, DECKS, FENCES, WALKS, POOLS, DRIVES, ETC.
 SHOWN ON SHEET C-1 IN DRAWING.
 11. PROPOSED NEW TREES TO BE PLANTED, LOCATION, SIZE AND TYPE.
 SHOWN ON SHEET C-2 IN DRAWING.
 12. PROPOSED STORMWATER RUN-OFF, INCLUDE CALCULATIONS AND INDICATE DETENTION LOCATIONS.
 SHOWN ON SHEET C-1 IN DRAWING AND UNDER WATER QUALITY CALCULATIONS.
 13. PROPOSED TOTAL LOT COVERAGE, CALCULATE AS A PERCENTAGE OF THE ENTIRE LOT.
 SHOWN ON SHEET C-1 UNDER PROPOSED IMPERVIOUS AREA CALCULATION.
 14. TOPOGRAPHIC SURVEY OF EXISTING CONDITIONS, WITH OVERLAY OF PROPOSED GRADE CHANGES.
 SHOWN ON SHEET C-1 IN DRAWING.
 CONSTRUCTION OF NEW BUILDINGS AND ADDITIONS, AND ANY CHANGE OF GRAD, REQUIRE A TOPOGRAPHIC SURVEY, WITH 1- OR 2-FOOT INTERVAL ELEVATION ABOVE MEAN SEA LEVEL, AND FINISHED FLOOR ELEVATIONS.
 SEE TOPOGRAPHY ON SHEET C-1 IN DRAWING.



Water Quality Calculations:

RUNOFF REDUCTION IMPERVIOUS AREA CALCULATIONS			
Site Location	SF	Not/Treated	BMP Location
Proposed House	2016	Treated	Trench
Proposed Driveway	663	Not Treated	N/A
Proposed Walkway and Front Stairs	131	Not Treated	N/A
Proposed Covered Porch	478	Treated	Trench
Proposed Deck	180	Treated	Trench
Total Impervious Area	3468	SF	
Treated Impervious Area	2674	SF	

Stone Storage Infiltration Trench Calculations

Required Water Quality Volume = 272.9 CF

All WQ Volume to be provided in Infiltration Trench
 Infiltration Trench w/ 40% void Ratio
 Required WQ Volume / 0.40 = 682.4 CF

Infiltration Trench Calculations

Length =	10.0 FT
Width =	10.0 FT
Height =	7.0 FT

Required Volume = 682.4 CF
 Provided Volume = 700.0 CF

Provided Volume is Greater than Required Volume

Water Quality Calculations Per GSWMM

Water Quality Volume			
Drainage Basin =	Acres	Impervious Area =	Acres
0.13	2,674 sf of Treated	0.06	Impervious
I = % impervious = 48 %		Rv = 0.482	
WQv = 1.2 * Rv * (DA^43560) / 12		WQv = 273 cu. ft.	

Water Quality Description:

TOTAL IMPERVIOUS AREA FOR THE SITE IS 3468 SQUARE FEET. REQUIRED WATER QUALITY VOLUME PER GSWMM SHOWN. THE WATER QUALITY IS PROVIDED ONLY FOR THE NEW IMPERVIOUS AREA OF 2674 SQUARE FEET FOR PROPOSED HOUSE AND THE FRONT PORCH AREA. SEE LOT COVERAGE ON THIS SHEET.

THERE WILL BE ONE STONE STORAGE TRENCH. THE TRENCH WILL BE LOCATED IN FRONT OF THE HOUSE TOWARDS THE WESTERN SIDE OF THE PROPERTY. THE STONE STORAGE TRENCH WILL DETAIN FOR A TOTAL OF 2672 SF OF IMPERVIOUS AREA, AS MENTIONED ABOVE. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO). THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 682.4 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 700.0 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT THEY ARE AT LEAST 10 FEET AWAY FROM THE STRUCTURES. THE BOTTOM OF THE STORAGE TRENCH IS 7 FEET DEEP.

THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE RUNOFF REDUCTION STORAGE REQUIREMENTS. THE STONE STORAGE TRENCH WILL PROMOTE GROUNDWATER RECHARGE WHILE RESPECTING THE REQUIRED CRITICAL ROOT ZONE OF SAVE TREES. BECAUSE OF THE AVAILABLE SPACE, LARGER SURFACE AREA TRENCHES WERE DESIGNED TO KEEP THE STORAGE FACILITY AS SHALLOW AS POSSIBLE AND PROMOTE MORE DIRECT INFILTRATION.

ANY OVERFLOW DRAINAGE FROM THE SYSTEM WILL FLOW TO THE WESTERN SIDE OF THE PROPERTY.

Prepared By:
CRESCENT VIEW ENGINEERING, LLC.
211 Fraser Street SE
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

Prepared For
Haus Zwei Homes
447 Oak Drive
Pine Lake, GA 30072

Proposed Conditions Plan

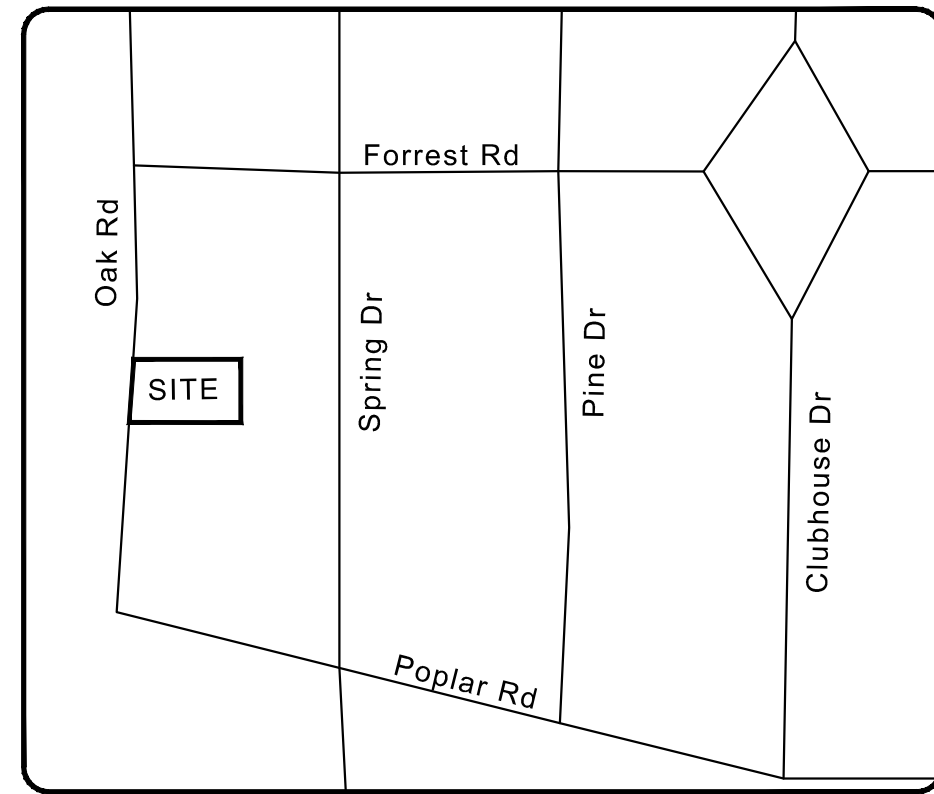
DATE	REVISIONS
01-04-23	AS SHOWN
	SCALE
	DRAWN
	CHECKED
	GHB



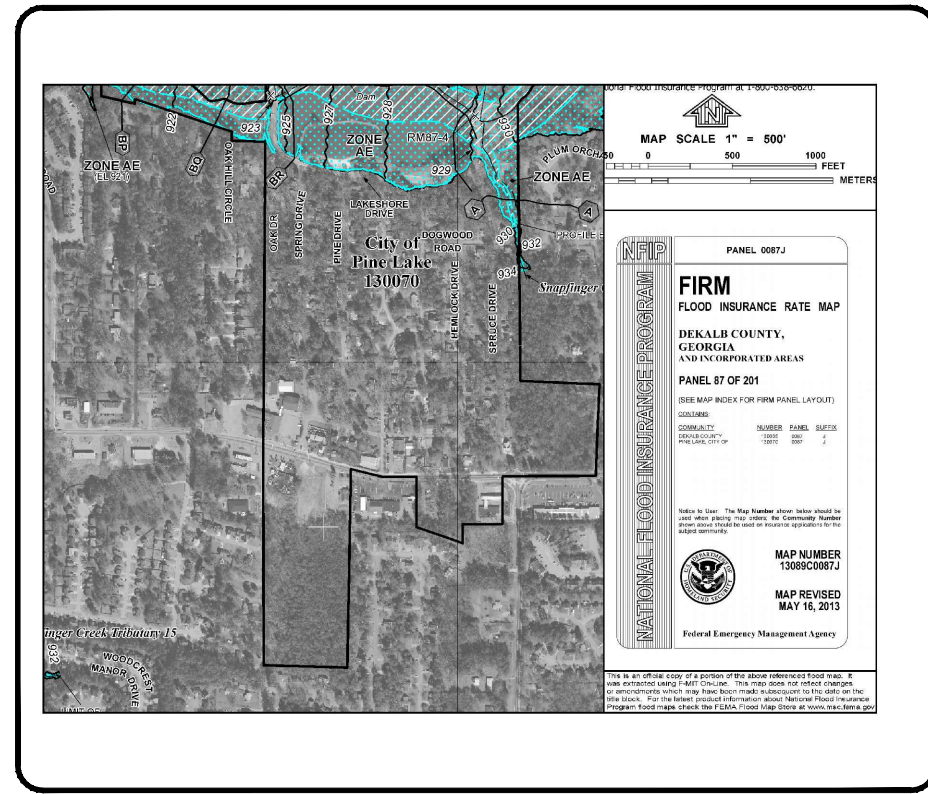
Site Plan For
455 Oak Drive
Land Lot 41, 18th District
City of Pine Lake, Georgia

CVE PI # 22-253

Sheet No.
C-1



Location Map
N.T.S.



FEMA Map
N.T.S.

Site Notes:

1. THE SITE CONTAINS: 0.227 ACRES
2. SITE ADDRESS: 447 OAK DRIVE, PINE LAKE GA 30072
PARCEL ID NUMBER: 18 041 08 024
3. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY McCLUNG SURVEYING SERVICES, INC., DATED 12-15-17.
4. THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBERS 13089C0087 J, DATED MAY 16, 2013.
5. THERE ARE NO WATERS OF THE STATE OF GEORGIA OR WETLANDS WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATER BUFFERS.
6. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS
7. THE INTENDED USE OF THE PROPERTY WILL BE FOR THE ADDITION OF A NEW SINGLE FAMILY HOME.

Zoning Requirements:

ZONING: R-1
 MINIMUM LOT AREA: 6,000 SQUARE FEET
 MINIMUM LOT DEPTH: 100 FEET
 MINIMUM LOT WIDTH: 60 FEET
 MAXIMUM FLOOR AREA: 2,600 SQUARE FEET
 MAXIMUM LOT COVERAGE: 35%
 MINIMUM LOT WIDTH AT FRONT SETBACK LINE: 75 FEET
 MINIMUM FRONT YARD SETBACK: 20 FEET
 SIDE SETBACK: 8 FEET FOR ONE STORY CONSTRUCTION;
 15 FEET FOR TWO STORY CONSTRUCTION
 REAR SETBACK: 12 FEET FOR ONE STORY CONSTRUCTION;
 10 FEET FOR TWO STORY CONSTRUCTION
 MAX HEIGHT: 32 FEET

Proposed Impervious Area:

Proposed Impervious Area	SF
Proposed Driveway	435
Proposed Walkway and Front Steps	104
Proposed House with Covered Porch	2016
Proposed Rear Covered Porch and Steps	336
Proposed Front Porch*	269
Proposed Impervious Area	3160
Proposed Lot Coverage %	31.97%

*The total area of the covered porch is 369 sf. According to Sec. 7-6.D., 100 sf of impervious area may be deducted from front porches that are within 30 feet of the street right of way, serve as the front entrance to the dwelling, and have no other stories above it. Therefore, only 296 sf of the porch counts towards impervious area

TOTAL SITE ACRES = 0.227 ACRES

TOTAL DISTURBED AREA = 0.12 ACRES

Construction Narrative:

THE PROPOSED PLAN CALLS FOR THE DEMOLITION OF CURRENT ONSITE ONE STORY FRAME HOUSE AND CONSTRUCTION OF A NEW HOME. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

Grading Notes:

1. EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
2. INITIAL BMP'S MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. SEDIMENT BMP'S MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
3. AFTER SITE CLEARING AND PREPARATION, CONTRACTOR SHALL EVALUATE THE EXPOSED SUBGRADE. THIS EVALUATION SHOULD INCLUDE PROOF ROLLING OF SUBGRADE SOILS TO VERIFY THAT THE SUBGRADE IS OF SUFFICIENT COMPACTION AND MATERIAL FOR PLACEMENT OF FILL TO BEGIN. IF REMEDIAL WORK IS REQUIRED, CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER BEFORE PROCEEDING.
4. ALL FILL MUST BE TESTED FOR COMPACTION AND QUALITY DURING THE GRADING OPERATION. PLACE FILL MATERIALS ON CONTINUOUS LAYERS AND COMPACT IN ACCORDANCE WITH ASTM D698. FILL MATERIAL MUST BE CLEAN INORGANIC NATURAL SOIL.
 COMPACTION REQUIREMENTS USING STD PROCTOR COMPACTION TEST ASTM D698 (%-MAX. DENSITY AT OPTIMUM MOISTURE CONTENT)
 UNPAVED AREAS: TOP 6 INCHES OF SUBGRADE AND SUBSEQUENT LIFTS / 90% SPT
 PAVED AREAS:
 FILL WALLS:
 COMPACTION ZONE FOR THESE AREAS SHALL INCLUDE A BEARING PLANE OF 1:1 FOR FILL AREAS WHICH SHALL EXTEND TO APPROVED SUBGRADE. COMPACTION REQUIREMENTS UNDER CURBING IS CONSIDERED UNDER PAVED AREAS REQUIREMENTS.
5. DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
6. MAXIMUM GRADED SLOPES ALLOWED 2H:1V
7. ALL SLOPES AND AREAS TO BE LANDSCAPED OR GRASSED SHALL BE GRADED SMOOTH AND TOPSOIL APPLIED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. NOTE USE OF TOPSOIL DOES NOT CHANGE FINISH GRADE CONTOURS.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
9. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
10. CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EARTHWORK AND GRADING OPERATIONS FROM GRADING, SEDIMENTATION, OR DAMAGE DURING CONSTRUCTION. REPAIR OR REPLACEMENT OF EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER. REMOVING AND CLEANING UP SEDIMENT ACCUMULATIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL PROVIDE ALL EXCAVATING, FILLING, BACKFILLING, IMPORTING, EXPORTING, AND GRADING REQUIRED TO BRING ENTIRE PROJECT TO THE FINAL GRADES AND ELEVATIONS SHOWN IN THE DESIGN DOCUMENTS.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
14. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES SHOWN TO BE PRESERVED (IF REQUIRED).
15. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA.
16. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
17. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
18. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
19. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES & ITEMS TO REMAIN.
20. CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
22. CONTRACTOR SHALL REPAIR AT HIS/HER EXPENSE, DAMAGE TO ANY NEW OR EXISTING SITE OR NEIGHBOR FEATURES NOT TO BE DEMOLISHED CAUSED BY CONSTRUCTION ACTIVITIES.
23. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COSTS TO THE OWNER.
24. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SHIELDING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

Pine Lake Site Plan Checklist:

- PROPERTY SURVEY & SITE PLAN BY CERTIFIED SURVEYOR OR ENGINEER. INCLUDE A NORTH ARROW AND INDICATE A SCALE AT EITHER 1/4" = 1 FOOT, OR 1" = 10 FEET ON ALL PAGES.
 NORTH ARROW AND SCALE SHOWN ON SHEET C-1 AND C-2.
1. ADJACENT STREET RIGHT-OF-WAY AND STREET NAMES.
OAK DRIVE AND RIGHT-OF-WAY SHOWN ON SHEET C-1 IN DRAWING. ADJACENT STREET IS FORREST ROAD.
 2. WHETHER PROPERTY IS OR IS NOT WITHIN THE FLOOD PLAIN.
SHOWN ON SHEET C-1 UNDER SITE NOTES.
 3. DISTANCE IN FEET TO ANY STREAM.
 4. LOT LINES AND DIMENSIONS.
NO STREAM WITHIN 200 FT TO SITE, UNDER SHEET C-1 SITE NOTES.
SHOWN ON SHEET C-1 IN DRAWING.
 5. REQUIRED BUILDING SETBACK LINES AND DIMENSIONS (AS REQUIRED BY CODE)
SHOWN ON SHEET C-1 IN DRAWING.
 6. EXISTING DRIVEWAYS AND OTHER ACCESS.
NO EXISTING DRIVEWAYS TO THE LOT. PROPOSED DRIVEWAY FOR ACCESS SHOWN ON SHEET C-1.
7. EXISTING LOCATION OF NEIGHBORING STRUCTURES WITHIN 20 FEET OF THE LOT LINE.
SHOWN ON SHEET C-1 IN DRAWING.
 8. EXISTING TREES AND TYPE WITH A CALIPER OF 8 INCHES OR GREATER AT 4 1/2 FEET ABOVE GRADE.
SHOWN ON SHEET C-2 IN DRAWING.
 9. EXISTING BUILDINGS, PORCHES, SHEDS, GARAGES, DECKS, FENCES, WALKS, POOLS, DRIVES, ETC.
SHOWN ON SHEET C-1 IN DRAWING.
 10. PROPOSED BUILDINGS, PORCHES, SHEDS, GARAGES, DECKS, FENCES, WALKS, POOLS, DRIVES, ETC.
SHOWN ON SHEET C-1 IN DRAWING.
 11. PROPOSED NEW TREES TO BE PLANTED, LOCATION, SIZE AND TYPE.
SHOWN ON SHEET C-2 IN DRAWING.
 12. PROPOSED STORMWATER RUN-OFF, INCLUDE CALCULATIONS AND INDICATE DETENTION LOCATIONS.
SHOWN ON SHEET C-1 IN DRAWING AND UNDER WATER QUALITY CALCULATIONS.
 13. PROPOSED TOTAL LOT COVERAGE, CALCULATE AS A PERCENTAGE OF THE ENTIRE LOT.
SHOWN ON SHEET C-1 UNDER PROPOSED IMPERVIOUS AREA CALCULATION.
 14. TOPOGRAPHIC SURVEY OF EXISTING CONDITIONS, WITH OVERLAY OF PROPOSED GRADE CHANGES.
SHOWN ON SHEET C-1 IN DRAWING.
 - CONSTRUCTION OF NEW BUILDINGS AND ADDITIONS, AND ANY CHANGE OF GRAD, REQUIRE A TOPOGRAPHIC SURVEY, WITH 1" OR 2" FOOT INTERVAL ELEVATION ABOVE MEAN SEA LEVEL, AND FINISHED FLOOR ELEVATIONS.
SEE TOPOGRAPHY ON SHEET C-1 IN DRAWING.

2
C-3
MODIFIED INFILTRATION
STONE STORAGE TRENCH
55'L X 3'W X 5'D
1.0% ACROSS TRENCH
TOP STARTING ELEV = 1003.42
BOTTOM ELEV OF STORAGE= 998.42
BOTTOM ELEV OF SAND= 997.92

NEW DRIVEWAY PER DEKALB COUNTY 709 + 710

6" PVC OBSERVATION WELL/POP
UP VALVE PLACED TO BOTTOM OF
AGGREGATE ELEVATION (TYP)

LIMITS OF DISTURBANCE
3 FEET LANDSCAPED AREA
BETWEEN DRIVEWAY AND
PROPOSED DWELLING

NEW 1" WATER METER
NEW 1 1/2" WATER LINE
USED FOR NEW CONSTRUCTION

N02°36'42"E
99.39' (ACTUAL)
(100' BY PLAT)

Water Quality Calculations:

RUNOFF REDUCTION IMPERVIOUS AREA CALCULATIONS			
Site Location	Footage	Not/Treated	BMP Location
Proposed Driveway	435	TREATED	SIDE
Proposed Walkway and Front Steps	104	TREATED	SIDE
Proposed House with Covered Porch	2385	TREATED	SIDE
Proposed Rear Covered Porch and Steps	336	TREATED	SIDE
Total Impervious Area	3,260	SF	
Treated Impervious Area	3,260	SF	

Modified Storage Infiltration Trench Calculations	
Runoff Reduction Calculations	Water Quality Calculations Per GSWM
Required Treated Impervious Area	3260.0 SF
Required Reduction Volume =	314.4 CF Per GSWM Calc

Infiltration Trench w/ 40% void Ratio
 Required WQ Volume / 0.40 = 786.0 CF

Infiltration Trench Calculations
 Length = 55.0 FT
 Width = 3.0 FT
 Height = 5.0 FT

Required Volume = 786.0 CF
 Provided Volume = 825.0 CF

Provided Volume is Greater than Required Volume

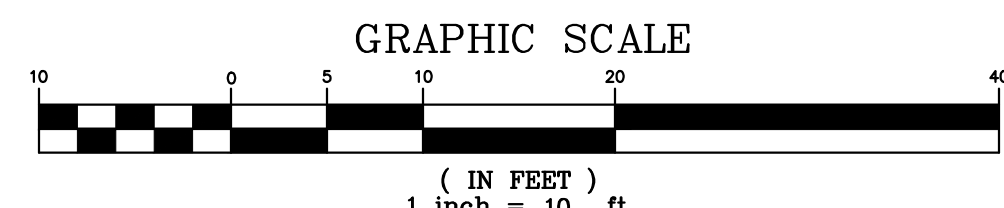
S87°52'53"E
99.86' (ACTUAL)
(100' BY PLAT)

PROPOSED AC PAD
TO BE SCREENED TO BE
INVISIBLE FROM THE STREET

FOUNDATION CHOSEN AS
CONCRETE BLOCK WITH
STUCCO OVER IT

PROPOSED SINGLE
FAMILY RESIDENCE
FFE: 1004.50

NEW DOWNSPOUT
COLLECTORS (TYP)
AS NEEDED TO
DIRECT ROOF
RUNOFF TO MFD



Water Quality Calculations Per GSWM			
Water Quality Volume	Drainage Basin = 0.18 Acres	3,260 sf of New	
	Impervious Area = 0.074 Acres	Impervious	
	I = % impervious = 39 %		
Rv = 0.05 + 1*(0.009)	Rv = 0.401		
WQv = 1.2*Rv*(DA*43560)/12	WQv = 314.4 cu. ft.		

Water Quality Description:

TOTAL IMPERVIOUS AREA FOR THE SITE IS = 3,260 SQUARE FEET. REQUIRED WATER QUALITY VOLUME PER GSWM SHOWN. THE WATER QUALITY IS PROVIDED ONLY FOR THE NEW IMPERVIOUS AREA OF 3,260 SQUARE FEET FOR PROPOSED HOUSE AND DECK AREA. SEE LOT COVERAGE ON THIS SHEET.

THERE WILL BE ONE MODIFIED STONE STORAGE TRENCH. THE TRENCH WILL BE LOCATED IN SIDE OF THE HOUSE TOWARDS THE NORTH SIDE OF THE PROPERTY. THE STONE STORAGE TRENCH WILL DETAIN FOR A TOTAL OF 3,090 SF OF IMPERVIOUS AREA. AS MENTIONED ABOVE, THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO). THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 786 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 825 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM THE STRUCTURES. THE BOTTOM OF THE STORAGE TRENCH IS 5 FEET DEEP.

THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE NO STORAGE REQUIREMENTS. THE STONE STORAGE TRENCH WILL PROMOTE GROUNDWATER RECHARGE WHILE RESPECTING THE REQUIRED CRITICAL ROOT ZONE OF SAVE TREES. BECAUSE OF THE AVAILABLE SPACE, LARGER SURFACE AREA TRENCHES WERE DESIGNED TO KEEP THE STORAGE FACILITY AS SHALLOW AS POSSIBLE AND PROMOTE MORE DIRECT INFILTRATION.

ANY OVERFLOW DRAINAGE FROM THE SYSTEM WILL FLOW TO THE WESTERN SIDE OF THE PROPERTY.

Prepared By:
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Prepared For
Haus Zwei Homes
447 Oak Drive
Pine Lake, GA 30072

Proposed Conditions Plan

DATE	REVISIONS
01-04-23	AS SHOWN
	PZ
	GHB



Site Plan For
447 Oak Drive
Land Lot 41, 18th District
City of Pine Lake, Georgia

CVE PI # 21-406

Sheet No.
C-1

City of Pine Lake, Georgia

Lot Coverage Variance

MEMORANDUM

TO: ChaQuias M. Thornton, City Administrator
FROM: Bill Johnston, Zoning Administrator
SUBJECT: Lot coverage variance to allow construction of a single family dwelling
DATE: Tuesday, 17 January 2023

Applicant	Kevin Polite
Location	455 Oak Drive (PIN 18-041-08-284)
Zoning	R-1, Single Family Residential District
Proposal	Variance to allow a higher lot coverage to allow construction of a single family dwelling

APPLICATION SUMMARY

Mr. Kevin Polite has filed an application for a variance to increase the lot coverage ratio as established in Section 7-6 *Lot coverage* of the Zoning Ordinance. The variance would allow construction of a 2,016-square foot dwelling.

FINDINGS

The 455 Oak Drive property is a corner lot indicated on a Proposed Conditions Plan, serving as the site Plan, as 0.182 acres or 7,927 square feet. The property is zoned R-1 Single Family Residential. Minimum lot area in the R-1 zoning district is 6,000 square feet.

Sec. 7-6 *Lot coverage* provides the following standards:

The following maximum lot coverage shall apply to all lots in the R-1 District:

- A. Lot coverage shall be calculated as all impervious surfaces on the lot.
- B. Maximum lot coverage on any lot shall be 35 percent.

A lot coverage of 43.64 percent is proposed.

Sec. 7-6 provides the following relief:

- D. Lot coverage credit for front porches: Owners of property having a front porch that is within thirty (30) feet of the street right-of-way on which the dwelling faces, serves as the front entrance to the dwelling and has no other story above, may deduct up to one hundred (100) square feet of the porch area from total lot coverage. Such deduction may be taken even in the event the lot coverage exceeds the maximum lot coverage.

455 Oak Drive (PIN 18-041-08-284)

Lot Coverage Variance

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The front porch meets these specifications and therefore the deduction of 100 square feet of the porch area can be taken. The area of the front porch is indicated as 656 square feet. The deduction results in a total impervious area of 3,366 square feet reducing the lot coverage ratio from 43.64 percent to 42.46.

CONCLUSIONS

Section 12-3 *Required findings for variances* establishes the criteria to be considered in granting a variance:

“Variances may be granted only upon making all of the following findings, which shall apply within the property for which the subject variance request is being made.

A. There are extraordinary or exceptional conditions pertaining to the particular property because of its size, shape or topography.

B. Such conditions are unusual or peculiar to the particular piece of property involved.

C. The strict application of the zoning ordinance would create an unnecessary hardship.

D. The hardship identified is concerned with the physical use of the property, not the financial condition of any person.

E. Specimen trees are located in such a manner on the subject property that the property cannot be practically developed without the removal or substantial destruction of such specimen trees but could be developed through variances that would protect the same trees.

F. Relief if granted would not cause substantial detriment to the public good, safety or welfare, or impair the purpose and intent of this zoning ordinance.

The application for variance is evaluated below based on these criteria which are in italics:

A. Extraordinary or exceptional conditions pertaining to the particular property because of its size.

Even a cursory look at the lots in Pine Lake as seen in Exhibit A indicates that the lot is not smaller than many other lots. This assessment holds even when developed, corner lots featuring two front yard setbacks are considered. Accordingly, no extraordinary or exceptional conditions pertaining to the property because of its size are present.

455 Oak Drive (PIN 18-041-08-284)

Lot Coverage Variance

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B. Such conditions are unusual or peculiar to the particular piece of property involved.

As no such conditions cited in criteria A. are present, such conditions as size, shape or topography are not peculiar to the property.

C. Strict application of the zoning ordinance would create an unnecessary hardship.

Consistent application of the standards of the ordinance when no justification for a variance is found does not comprise an unnecessary hardship. Strict application of the standards of the ordinance is necessary to preserve the integrity of the ordinance. Otherwise, the standards of the ordinance become a moot point. In addition, such deviation from the ordinance standard is typically in the range of 10 percent. The proposed deviation from 35 percent to more than 42 percent is well above that pattern.

D. The hardship identified is concerned with the physical use of the property, not the financial condition of any person.

No true hardship is associated with the property.

E. Specimen trees are located in such a manner on the subject property that the property cannot be practically developed without the removal or substantial destruction of such specimen trees but could be developed through variances that would protect the same trees.

While the City Arborist is the individual that evaluates the appropriateness of the Tree Plan, that Plan does not indicate any specimen trees as defined in Article IX. - Pine Lake Tree Conservation Ordinance:

Landmark Tree: A: (1) hardwood tree 27 inches (dbh) or larger, (2) pine tree 30 inches (dbh) or larger, provided that it is not located within thirty (30) feet of any structure, or (3) dogwood or redbud tree 10 inches (dbh) or larger being in fair or better condition.

If anything related to tree canopy were at issue that would be that a lot coverage ratio higher than the ordinance standard of 35 percent could adversely impact the health of trees on the property as increased runoff would mean less storm water infiltration.

F. Relief if granted would not cause substantial detriment to the public good, safety or welfare, or impair the purpose and intent of this zoning ordinance.

455 Oak Drive (PIN 18-041-08-284)

Lot Coverage Variance

4 of 6

Standards are set by Mayor and Council to protect the public. Specifically in Pine Lake, control of soil erosion, silting and sedimentation is a critical objective. In the event other property owners applied for and received variances to lot coverage the cumulative effect could be substantial, increasing soil erosion and silting of the lake. The Pine Lake leadership has diligently pursued ordinance standards designed to protect the water resources of the community. Given the slopes involved, the relatively small minimum lot size standard of the ordinance, the important functions the lake serves and a ceiling on the size of dwellings, limiting such variances to properties characterized by “extraordinary or exceptional conditions pertaining to the particular property because of its size” is essential to the public good and welfare.

Section 12-1 *Intent* provides that “The Mayor and Council has the authority to hear, and grant or deny variances from the requirements of this ordinance as will not be contrary to the public interest when, due to unusual property conditions, a literal enforcement of zoning requirements in a particular case will result in unnecessary hardship, provided that the intent of the general and district regulations is served, public safety and welfare is secured, and substantial justice is done.” Reasonable standards are set and enforcement of those standards, absent a hardship, is required to preserve the integrity of the ordinance.

Section 12-4 *Conditions* establishes the following authority:

“A. Mayor and Council may impose any conditions or safeguards relating to any variance as it may determine necessary in the particular case to protect the public interest and to protect the use and enjoyment of adjacent property.” The public interest in this case is to minimize storm water runoff and silting of the lake at Pine Lake.

RECOMMENDATION

Based on the above findings and conclusions concerning 455 Oak Drive, denial of a variance that would allow an increase in lot coverage from the ordinance standard of 35 percent to 42.46 percent is appropriate.

Exhibit B
Lot Area by Street Address near 455 Oak Drive

Address	Lot Area	Lot Dimensions
455 Oak Drive	0.18	79x99
447 Oak Drive	0.23	99x99
487 Oak Drive	0.14	--
481 Oak Drive	0.18	80x100
475 Spring Drive	0.14	62x100
4540 Oak Road	0.14	--
498 Spring Drive	0.14	--
482 Spring Drive	0.18	80x100
479 Spring Drive	0.14	62x100
445 Spring Drive	0.14	80x40x40x100
490 Pine Drive	0.14	--
4555 Dogwood Road	0.15	60x100
498 Pine Drive	0.09	40x100
494 Pine Drive	0.09	--
442 Spring Drive	0.14	59x100
519 Spring Drive	0.10	--
439 Spring Drive	0.14	60x100
475 Oak Drive	0.14	62x100

NOTE: All properties contain a dwelling and are in close proximity to the 455 Oak Drive property which has an area of 0.182 acres.

City of Pine Lake, Georgia

Lot Coverage Variance

MEMORANDUM

TO: ChaQuias M. Thornton, City Administrator
FROM: Bill Johnston, Zoning Administrator
SUBJECT: Lot coverage variance to allow construction of a single family dwelling
DATE: Tuesday, 17 January 2023

Applicant	Kevin Polite
Location	455 Oak Drive (PIN 18-041-08-284)
Zoning	R-1, Single Family Residential District
Proposal	Variance to permit a higher lot coverage to allow construction of a single family dwelling

RESPONSE TO SUMMARY AND JUSTIFICATION FOR VARIANCE

Ms. Kathleen Curry, Architect, has submitted a summary and justification for a variance as to lot coverage sought by Mr. Kevin Polite with HausZwei, owner of 455 Oak Drive and 447 Oak Drive. These lots are also contiguous.

The first point made in a letter from Ms. Curry dated January 6, 2023 concerns the size of the 455 Oak Drive lot, citing “The property at 455 Oak Drive is significantly smaller than 447 Oak Drive, by 1,943 square feet.” The more appropriate comparison is to lots throughout Pine Lake. More than a dozen lots that have been developed as single family detached dwellings can be found in the immediate vicinity of these two lots. These nearby, developed lots are equal to or significantly smaller than the 455 Oak Drive lot. Therefore, the justification for the variance based on the lot being extraordinary as concerns its small size is without merit.

The second point is that “The subject property also has more stringent building setbacks due to its corner lot location, requiring each street face to have a larger front building setback.” This justification may have merit, as maneuvering space is provided on the site plan so that vehicles can be driven forward onto Oak Drive rather than the resident backing into the street which represents a traffic hazard.

A third point made concerns the benefits to be realized by the proposed construction. Many lots having a similar or smaller area have been built upon in the city, even on corner lots. The statement that “The basic design of the new house. . . is in keeping with the spirit of Pine Lake. In fact, if developed, the new house would improve the current corner greatly, while also enhancing the street and enriching neighborhood.

Property values would certainly increase” has nothing to do with the findings that must be made to grant such variance as is sought and is without merit as concerns the application.

Section 12-3 *Required findings for variances* establishes that “Variances may be granted **only upon making all of the following findings** which shall apply within the property for which the subject variance request is being made.” The first finding that must be made is that “There are extraordinary or exceptional conditions pertaining to the particular property because of its size, shape or topography.” Neither the size, shape nor topography of the 455 Oak Drive lot is extraordinary.

The fourth point made is that “Considering that Kevin Polite is developing two lots on Oak Drive simultaneously, it should be noted that the combined lots’ square footage is 17,828 square feet.” The standards of the ordinance must be met upon each lot. This standard is codified in Section 3-2 *Yards and lots* which establishes that “No part of a yard, area, open space or parking or loading area required for one structure or use shall be included as meeting requirements for another, except where hereinafter provided in this ordinance.” The fact that the combination of the lots by somehow assigning lot area from 447 Oak to 455 Oak Drive yields a lot coverage ratio closer to the 35 percent maximum standard of the ordinance is irrelevant.

The fifth point that “This variance request does not cause substantial detriment to the public good or impair the purposes and intent of the zoning ordinance of Pine Lake in DeKalb County” begs the question as to adoption of development standards. Minimum lot size in the R-1 Single Family Residential zoning district is 6,000 square feet. This minimum is well below the lot area of either lots which are reported as 7,943 square feet and 9,885 square feet, respectively. Granting of a variance in cases where the findings do not justify a variance questions the appropriateness of standards of the ordinance.

Finally, the contention that “. . .the proposed project will not diminish safety from fire, panic, or other dangers. The proposed project will not diminish the amount of light and air to the neighboring properties. And the proposed project is proportionate and appropriate with the other single-family homes in this area. Kevin Polite’s design will be a positive change for the surrounding area” may be well meaning. However, the size of the 455 Oak Drive lot is not extraordinary nor peculiar to this property. Section 12-3 *Required findings for variances* provides that “Variances may be granted only upon making all of the findings, which shall apply within the property for which the subject variance request is being made.” That last text highlights the inability of conditions on another lot, even a contiguous lot in common ownership, to be used as a justification for a variance on another lot.

Based on the above responses and findings, denial of the variance that would allow a lot coverage of ratio of 42.46 percent, well above the 35 percent maximum of the ordinance, is appropriate.